



November 30, 2022

Chris Krahforst, Conservation Administrator
Hull Conservation Commission
Hull Town Hall
253 Atlantic Avenue
Hull, MA 02045

**Re: Notice of Intent – Hampton Circle Playground Rehabilitation
0 Moreland Ave, Hull, MA (Assessors Map 36 Lot 48)**

Dear Mr. Krahforst and Commissioners:

On behalf of the Hull Community Development and Planning Department, BETA Group, Inc. (BETA) is submitting a Notice of Intent (NOI) for proposed improvements to Hampton Circle playground at 0 Moreland Avenue in Hull, Massachusetts (the Site). Improvements include resurfacing the playground area, installation of new play equipment, and construction of an asphalt walkway connecting the park to two parking spaces (the Project). The proposed improvements will provide improved accessibility pursuant to the Americans with Disabilities Act.

Work associated with the Project will take place within resource areas Subject to Jurisdiction under the Massachusetts Wetlands Protection Act and its Regulations at 310 CMR 10.00 (the Act). Specifically, the Project is located within Land Subject to Coastal Storm Flowage, and portions of the Project area located within the 100-foot buffer zone to Bordering Vegetated Wetlands. The Project proposes erosion control measures, plantings, and stormwater improvements to mitigate for the work within jurisdictional resource areas. Portions of the Site will be regraded, and a rain garden vegetated with native, salt-tolerant grasses will be constructed to manage stormwater.

This NOI has been concurrently submitted to the Massachusetts Department of Environmental Protection (MassDEP) Southeast Regional Office and Project abutters have been notified in accordance with State requirements. As a municipal project, this NOI filing is not subject to the fee requirements of the Act.

We trust that the following application provides adequate information to facilitate the issuance of an Order of Conditions. Should you have any additional questions, please do not hesitate to contact us.

Very truly yours,
BETA Group, Inc.

Elyse Tripp
Staff Scientist

Laura Krause
Lead Scientist

cc: Chris Dilorio, Director of Community Development & Planning (Hull)
MassDEP SERO

Job No: 22.10193.00

Hull, Massachusetts

Hampton Circle Playground Rehabilitation

Hull Community Development and Planning Department

November 2022

NOTICE OF INTENT



BETA

89 Shrewsbury Street
Suite 300
Worcester, MA 01604
508.756.1600
www.BETA-Inc.com

Hampton Circle Playground Rehabilitation

Hull, Massachusetts

Hull Community Development and Planning Department

NOTICE OF INTENT

Prepared by: **BETA GROUP, INC.**

Prepared for: Hull Community Development and Planning Department

November 2022

TABLE OF CONTENTS

WPA FORM 3 – NOTICE OF INTENT

PROJECT NARRATIVE

- 1.0 Introduction 1
- 2.0 Site Description 1
 - 2.1 Project Locus..... 1
 - 2.2 Wetland Resource Areas 2
 - 2.2.1 Land Subject to Coastal Storm Flowage (310 CMR 10.04)..... 2
 - 2.2.2 Bordering Vegetated Wetlands (310 CMR 10.55)..... 2
 - 2.3 Buffer Zones..... 2
 - 2.4 NHESP- Mapped Habitat and Other Sensitive Areas 2
- 3.0 Work Description 3
 - 3.1 Work within Jurisdictional Resource Areas 3
 - 3.1.1 Land Subject to Coastal Storm Flowage (310 CMR 10.04)..... 3
 - 3.2 Work in Buffer Zones..... 3
- 4.0 Mitigation Measures 3
 - 4.1 Erosion and Sedimentation Controls..... 3
 - 4.2 Resource Area Mitigation 3
 - 4.3 Stormwater Management 4
- 5.0 Regulatory Compliance 4
 - 5.1 Massachusetts Wetlands Protection Act Regulations- 310 CMR 10.00 1
 - 5.1.1 Land Subject to Coastal Storm Flowage- General Performance Standards..... 1
- 6.0 Summary 1

LIST OF FIGURES

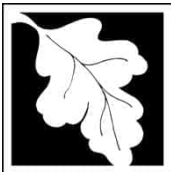
- Figure 1 Site Locus
- Figure 2 Environmental Resources
- Figure 3 Wildlife Habitat
- Figure 4 FEMA FIRMette

PHOTOGRAPHIC DOCUMENTATION

LIST OF APPENDICES

- Appendix A Project Plans
- Appendix B Stormwater Narrative

WPA FORM 3 – NOTICE OF INTENT



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hull

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note: Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>0 Moreland Ave</u>	<u>Hull</u>	<u>02045</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>42d16m16s</u>	<u>-70d51m52s</u>	
d. Latitude	e. Longitude	
<u>36</u>	<u>48</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Chris</u>	<u>Dilorio</u>	
a. First Name	b. Last Name	
<u>Hull Community Development and Planning Department</u>		
c. Organization		
<u>253 Atlantic Avenue</u>		
d. Street Address		
<u>Hull</u>	<u>MA</u>	<u>02045</u>
e. City/Town	f. State	g. Zip Code
<u>781-925-3595</u>	<u>cdilorio@town.hull.ma.us</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

<u></u>	<u></u>	
a. First Name	b. Last Name	
<u>Hampton Hill Playground</u>		
c. Organization		
<u>253 Atlantic Avenue</u>		
d. Street Address		
<u>Hull</u>	<u>MA</u>	<u>02045</u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Laura</u>	<u>Krause</u>	
a. First Name	b. Last Name	
<u>BETA Group, Inc.</u>		
c. Company		
<u>89 Shrewbury Street, Suite300</u>		
d. Street Address		
<u>Worcester</u>	<u>MA</u>	<u>01604</u>
e. City/Town	f. State	g. Zip Code
<u>844-200-2382</u>	<u>lkrause@beta-inc.com</u>	
<u>x7113</u>	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Hull
City/Town

A. General Information (continued)

6. General Project Description:

Improvements to the existing playground and surrounding area, including resurfacing the playground area, installation of new play equipment, construction of an asphalt walkway connecting the park to two parking spaces, installation of stormwater best management practices, Site grading and plantings.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Plymouth	
a. County	b. Certificate # (if registered land)
1639	399
c. Book	d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hull

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hull

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	<u>1,579 (perm), 13,667 (temp)</u>	
	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:	
MassDEP File Number	_____
Document Transaction Number	_____
Hull	_____
City/Town	_____

C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

- MassMapper 2022
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

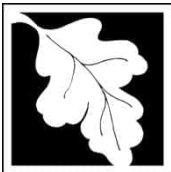
- Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
- Assessor’s Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/ma-endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hull

City/Town

C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hull

City/Town

C. Other Applicable Standards and Requirements (cont'd)

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 - a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
Weir River ACEC
 - b. ACEC
- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 - a. Yes No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 - a. Yes No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 - a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 - 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 - 2. A portion of the site constitutes redevelopment
 - 3. Proprietary BMPs are included in the Stormwater Management System.
 - b. No. Check why the project is exempt:
 - 1. Single-family house
 - 2. Emergency road repair
 - 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hull

City/Town

D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Town of Hull Hampton Circle Playground (10 sheets)

a. Plan Title

BETA Group, Inc.

b. Prepared By

November 2022

d. Final Revision Date

c. Signed and Stamped by

varies

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

3. Check date

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Hull

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

2. Date

11/29/22

3. Signature of Property Owner (if different)

4. Date

11/28/2022

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

PROJECT ABUTTERS

HULL BOARD OF ASSESSORS

ABUTTERS LIST APPLICATION

DATE REQUESTED 11/15/2022

- DATE PAID N/A

MINIMUM OF ONE (1) WORKING DAY REQUIRED TO PRODUCE LIST

SUBJECT PROPERTY ADDRESS Hampton Circle Playground - 0 Moreland Avenue

MAP 36 LOT 48 OWNER Town of Hull

REASON FOR ABUTTERS LIST

CONSERVATION COMMISSION
 TRAILERS HEARINGS

ALL PARCELS WITHIN 100' OF LOT LINES

ZONING BOARD OF APPEALS & SITE PLAN REVIEW
**ALL PARCELS WITHIN 300' OF LOT LINES
TWO SETS OF LABELS – ONE RECORD CARD**

COMMON VICTUALER LICENSE
 LIQUOR LICENSE
 ENTERTAINMENT LICENSE
ABUTTERS 300' (STREETS ARE TRANSPARENT)

OTHER _____

PROVIDE CRITERION FOR LIST

PERSON REQUESTING LIST Elyse Tripp - BETA Group, Inc.

ADDRESS 89 Shrewsbury Street, Suite 300
Worcester, MA 01604

TELEPHONE 844-800-2382 x 7174

LIST TO BE PICKED UP _____

MAILED

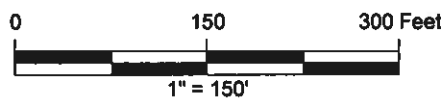


For assessment purposes only; not to be used in legal boundary descriptions.



Town of Hull
Assessors Office
253 Atlantic Avenue
Hull, MA 02045
781-925-2205

Abutters List Locus Map



November 16, 2022

Subject Parcel ID: 36-048
Address: MORELAND AVE
Radius: 100'



**Town of Hull
Assessors Office**

LIST OF ABUTTERS TO....

Parcel No.: 36-048
 Owner: HAMPTON HILL PLAYGROUND
 Address: MORELAND AVE

November 16, 2022
 9:19:34AM

Abutter's Name	Parcel Location	Parcel No. Book - Page	Mailing Address
TEIXEIRA JOHN F & KAREN C	65 BAY STREET	35-129 14419-293	TEIXEIRA JOHN F & KAREN C 65 BAY STREET HULL, MA 02045-0000
MACKENZIE ROBERT & MONICA	67 BAY STREET	35-130 55274-269	MACKENZIE ROBERT & MONICA 67 BAY ST HULL, MA 02045
GAMBLE DANA C & CAROLYN	69 BAY STREET	35-131 35667-75	GAMBLE DANA C & CAROLYN 69 BAY STREET HULL, MA 02045
HEMINGWAY RICHARD & JUDY D	71 BAY STREET	35-132-A 57382-186	HEMINGWAY RICHARD & JUDY D 58 OCEANSIDE DRIVE HULL, MA 02045
CLAY VIRGINIA E	73 BAY STREET	35-133 10592-176	CLAY VIRGINIA E 73 BAY STREET HULL, MA 02045-0000
SMITH PAULA & JOHN R	10 MARGINAL RD	35-136 42676-255	SMITH PAULA & JOHN R 10 MARGINAL RD HULL, MA 02045-0000
DEFABIO DANA J & JAIME A	12 MARGINAL RD	35-137 15369-59	DEFABIO DANA J & JAIME A 12 MARGINAL RD HULL, MA 02045-0000
HULL TOWN OF	0 MARGINAL RD	35-138	HULL TOWN OF



**Town of Hull
Assessors Office**

LIST OF ABUTTERS TO....

Parcel No.: 36-048
Owner: HAMPTON HILL PLAYGROUND
Address: MORELAND AVE

November 16, 2022
9:19:34AM

Abutter's Name	Parcel Location	Parcel No. Book - Page	Mailing Address
ANDRUSZKIEWICZ FRANCIS A & FR	14 MARGINAL RD	35-139 6696-192	ANDRUSZKIEWICZ FRANCIS A & FRA 27 PLEASANT ST DORCHESTER, MA 02125-0000
DESTITO ELEANOR C	16 MARGINAL RD	35-140 16177-65	DESTITO ELEANOR C 16 MARGINAL RD HULL, MA 02045-0000
SANDERSON RICHARD D & PAMELA :	18 MARGINAL RD	35-141 14396-36	SANDERSON RICHARD D & PAMELA J 19 EUNICE AVE WORCESTER, MA 01606-0000
RIBBONS DANIELLE	117 HAMPTON CIRCLE	35-142 56115-249	RIBBONS DANIELLE 117 HAMPTON CIR HULL, MA 02045
FULTON BOYD M	119 HAMPTON CIRCLE	35-143 37311-249	FULTON BOYD M 119 HAMPTON CIR HULL, MA 02045
HEIDE TRAVIS M & ABBY L	121 HAMPTON CIRCLE	35-144 53809-140	HEIDE TRAVIS M & ABBY L 121 HAMPTON CIRCLE HULL, MA 02045
LOUGHLIN KAREN S	123 HAMPTON CIRCLE	35-145 21968-341	LOUGHLIN KAREN S 123 HAMPTON CIR HULL, MA 02045-0000
DEMARCO DEAN	125 HAMPTON CIRCLE	35-146 50999-112	DEMARCO DEAN 125 HAMPTON CIRCLE HULL, MA 02045



**Town of Hull
Assessors Office**

LIST OF ABUTTERS TO....

Parcel No.: 36-048
 Owner: HAMPTON HILL PLAYGROUND
 Address: MORELAND AVE

November 16, 2022
 9:19:34AM

Abutter's Name	Parcel Location	Parcel No. Book - Page	Mailing Address
LANE LORETTA M	7 MORELAND AVE	36-022 51678-186	LANE LORETTA M 7 MORELAND AVE HULL, MA 02045
MCELROY JILL M	9 MORELAND AVE	36-023 48251-175	MCELROY JILL M 9 MORELAND AVENUE HULL, MA 02045
RITTER FRANK E	11 MORELAND AVE	36-024 55162-156	RITTER FRANK E 11 MORELAND AVE HULL, MA 02045-0000
DALRYMPLE KERRI & JOHN C	13 MORELAND AVE	36-025 56989-316	DALRYMPLE KERRI & JOHN C 13 MORELAND AVE HULL, MA 02045
DUNDON KAREN E & JOHN J	15 MORELAND AVE	36-026 41211-250	DUNDON KAREN E & JOHN J 436 HILLSTOWN RD MANCHESTER, CT 06040-0000
ROMEO JENNIFER M/PORCARO	17 MORELAND AVE	36-027 41165-45	ROMEO JENNIFER M/PORCARO 10 ROSEMARY ST WORCESTER, MA 01604
TARSKY ROBERT S & EILEEN	1 HAMPTON CIRCLE	36-028 56126-198	TARSKY ROBERT S & EILEEN 183 BAY RD NORTH EASTON, MA 02356
NUTILE RICHARD J & JEAN F	127 HAMPTON CIRCLE	36-043 4156-519	NUTILE RICHARD J & JEAN F 127 HAMPTON CIRCLE HULL, MA 02045-0000



**Town of Hull
Assessors Office**

LIST OF ABUTTERS TO....

Parcel No.: 36-048
 Owner: HAMPTON HILL PLAYGROUND
 Address: MORELAND AVE

November 16, 2022
 9:19:34AM

Abutter's Name	Parcel Location	Parcel No. Book - Page	Mailing Address
MURPHY DEIRDRE M	129 HAMPTON CIRCLE	36-044 51907-224	MURPHY DEIRDRE M 51A RIVER ST BOSTON, MA 02126
FERGUSON JOHN P & KATHLEEN P	131 HAMPTON CIRCLE	36-045 56703-190	FERGUSON JOHN P & KATHLEEN P 131 HAMPTON CIRCLE HULL, MA 02045
SHEA DONALD J & DOLORES A	133 HAMPTON CIRCLE	36-046 11150-37	SHEA DONALD J & DOLORES A 340 SUNDERLAND RD #28 WORCESTER, MA 01604-0000
WEISSLINGER EILEEN	137 HAMPTON CIRCLE	36-047 43858-310	WEISSLINGER EILEEN 137 HAMPTON CIRCLE HULL, MA 02045
KANE VANESSA M	12 MORELAND AVE	36-049 50245-219	KANE VANESSA M 12 MORELAND AVE HULL, MA 02045
RUGGIERI ANTHONY R & BARBARA M	10 MORELAND AVE	36-050 4878-199	RUGGIERI ANTHONY R & BARBARA M 267 HIGHLAND AVE ARLINGTON, MA 02476-7952
CHAPMAN ELIZABETH A	8 MORELAND AVE	36-051 53736-239	CHAPMAN ELIZABETH A 107 UNIVERSITY RD UNIT 3 BROOKLINE, MA 02445
DENOFRIO MARC B	8 MORELAND AVE	36-052 55780-121	DENOFRIO MARC B 8 MORELAND AVE HULL, MA 02045



**Town of Hull
Assessors Office**

LIST OF ABUTTERS TO....

Parcel No.: 36-048

Owner: HAMPTON HILL PLAYGROUND
Address: MORELAND AVE

November 16, 2022
9:19:34AM

Abutter's Name	Parcel Location	Parcel No. Book - Page	Mailing Address
LOUGHLIN MAX	59 BAY STREET	36-058 51216-41	LOUGHLIN MAX 59 BAY ST HULL, MA 02045-0000
CASEY DAVID J	59 BAY STREET	36-059 10419-132	CASEY DAVID J 59A BAY STREET HULL, MA 02045-0000
MCELHINNEY STEPHEN & COLLETTE	61 BAY STREET	36-060 38991-1	MCELHINNEY STEPHEN & COLLETTE 145 FAIR OAKS LN COHASSET, MA 02025
JONES MATHEW & MAURA	63 BAY STREET	36-061 56663-26	JONES MATHEW & MAURA 63 BAY ST HULL, MA 02045-0000
CARLSON VALERIE L	2 HAMPTON CIRCLE	36-109 51448-72	CARLSON VALERIE L 2 HAMPTON CIRCLE HULL, MA 02045-0000
OCHOA ANTONIO R	136 HAMPTON CIRCLE	36-110 13830-48	OCHOA ANTONIO R 136 HAMPTON CIRCLE HULL, MA 02045-0000
REILLY FRANCIS J & WENDY A	20 STANDISH RD	36-111 22035-64	REILLY FRANCIS J & WENDY A 105 CLIFFORD STREET MELROSE, MA 02176

AFFIDAVIT OF SERVICE

Under the Massachusetts Wetlands Protection Act

I, **Elyse Tripp**, hereby certify under the pains and penalties of perjury that on or before **December 1, 2022**, I gave notification to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, and the DEP Guide to Abutter Notification in connection with the following matter:

A **Notice of Intent** application was filed under the Massachusetts Wetlands Protection Act by **the Town of Hull** with the Hull Conservation Commission on or before **November 30, 2022** for the project entitled **Hampton Circle Playground Rehabilitation**.

The form of the notification, and a list of the abutters to whom it was given and their addresses, are attached to this Affidavit of Service.



November 30, 2022

Name

Date

PROJECT NARRATIVE

1.0 INTRODUCTION

The Town of Hull Community Development and Planning Department proposes playground improvements (the Project) at Hampton Circle Playground (the Playground) off Moreland Avenue in Hull, Massachusetts. The purpose of the Project is to provide safe, upgraded amenities to users of the Playground while improving compliance with standards set forth by the Americans with Disabilities Act (ADA). A lack of vegetation and seating at the Playground, in addition to the general state of disrepair of the remaining play equipment, prevents full enjoyment of this area as an outdoor space to the community. In addition to new play equipment, the Project proposes stormwater Best Management Practices (BMPs) and Site grading to decrease flooding of the play structures, improve flood flow pathways to the extent practicable, and provide treatment of runoff from impervious areas. Specifically, work proposed includes:

- Removal of overgrown vegetation from the existing chain link fence;
- Removal of one section of 4-foot chain link fence near existing unpaved parking area;
- Removal of existing swing set structure and woodchipped play surface;
- Removal and relocation of existing flagpole, memorial and sign;
- Installation of an ADA compliant bituminous asphalt pathway;
- Installation of new playground equipment, including a play structure and swing set;
- Surfacing new play areas with pervious compound;
- Construction of stormwater Best Management Practices (BMPs);
- Construction of two designated bituminous asphalt parking spaces; and
- Installation of plantings, and grading.

Construction of the Project requires impacts to Areas Subject to Jurisdiction and Protection under the Massachusetts Wetlands Protection Act (M.G.L. ch.131 s.40) and its Regulations at 310 CMR 10.00 (the Act). Areas Subject to Jurisdiction and Protection under the Act to be impacted include Land Subject to Coastal Storm Flowage (LSCSF), and buffer zone to offsite Bordering Vegetated Wetlands (BVW). The Project will minimize Resource Area impacts by installing and maintaining erosion controls, adhering to a strict limit of work, and improving stormwater management at the Site.

2.0 SITE DESCRIPTION

2.1 PROJECT LOCUS

The Site is located in eastern Hull, Massachusetts, just northwest of the intersection of Moreland Avenue and Hampton Circle and consists of an approximately 0.35-acre portion (the Site) of a larger 1-acre Town-owned parcel (Figure 1 – Site Locus). The area is bounded by residential properties to the north and south, the Moreland Ave roadway to the east, and undeveloped, maintained Town-own land to the west.

Existing improvements include a swing set within a woodchipped play area, a memorial plaque, and flagpole. A former play structure was present at the Site, however, it was removed following storm damage between 2019 and 2020. A chain link fence varying in height from four to six feet surrounds the parcel, and one catch basin is present within the limits of the Site west of the existing swing set. Additionally, just beyond the western limits of the Site is an existing half basketball court. The parcel is partially vegetated with grass that is periodically mowed, and the remainder of the parcel consists of bare, hard-packed soil.

2.2 WETLAND RESOURCE AREAS

A Site inspection was conducted by a BETA Wetland Scientist on January 29, 2022 to identify and delineate the boundaries of resource areas on the Site and in the immediate vicinity of the Site. The Site and surrounding area have been historically known to flood, and evidence of periodic flooding, including drift deposits, sparse vegetation, and drainage patterns were observed during the Site inspection.

Areas Subject to Protection under the Act that exist at the Site, or within 100 feet of the Site, includes LSCSF and BVW.

2.2.1 LAND SUBJECT TO COASTAL STORM FLOWAGE (310 CMR 10.04)

According to the FEMA Flood Insurance Rate Map (FIRM) community panel number 25023C0038J, dated effective July 17, 2012 (Figure 4), the Site lies within a Flood Hazard Zone AE, subject to a 1% yearly chance of tidally influenced inundation below the published Base Flood Elevation (BFE) of 10' (NAVD88). Land below the BFE is defined as Land Subject to Coastal Storm Flowage (LSCSF) and is Subject to Protection under the Act.

2.2.2 BORDERING VEGETATED WETLANDS (310 CMR 10.55)

According to 310 CMR 10.55(2), the definition of Bordering Vegetated Wetlands (BVW) are freshwater wetlands which border on creeks, rivers, streams, ponds and lakes and are areas where the soils are saturated and/or inundated such that they support a predominance of wetland indicator plants. The boundary of BVW is the line within which 50% or more of the vegetation community consists of wetland indicator plants and saturated or inundated conditions exist.

BVW was observed just north of the Project on a neighboring parcel where hydrology and hydrophytic vegetation was observed. Observed hydrology includes visible inundation of the area with standing water, drainage patterns, and microtopographic relief. Hydrophytic vegetation observed was primarily *Phragmites australis*; however, no wetland delineation was completed as the land is private property. The boundary of BVW is approximated on the Plans. The Applicant is not seeking to confirm the boundary of this resource area.

2.3 BUFFER ZONES

Portions of the Project Locus are located within the 100-foot buffer zone to BVW, and the entire Project Locus is within LSCSF.

2.4 NHESP- MAPPED HABITAT AND OTHER SENSITIVE AREAS

According to the latest MassGIS data, the Project is not located within a Natural Heritage and Endangered Species Program (NHESP) mapped Priority Habitat of Rare Species or Estimated Habitat of Rare Wildlife. No mapped Certified or Potential Vernal Pools exist within 200 feet of the Project.

The Project is almost entirely located within the Weir River Area of Critical Environmental Concern (ACEC) and it overlaps a portion of the Site over Moreland Ave to the east and Marginal Road to the west. To the east and west of the parcel is an Outstanding Resource Water (ORW) associated with Weir River.

A Prohibited Shellfish Growing Area (GBH1.0) and a Conditionally Restricted Shellfish Growing Area (GBH1.4 and GBH 1.3) with suitable habitat for soft shell clam (*Mya arenaria*) and blue mussel (*Mytilus edulis*) are located approximately 200 feet to the east and west of the parcel. The Project is not located within filled or flowed tidelands.

3.0 WORK DESCRIPTION

3.1 WORK WITHIN JURISDICTIONAL RESOURCE AREAS

The Project will result in impacts to LSCSF, as well as impacts to the buffer zone of BVW. All impacts proposed are within previously disturbed and/ or developed areas.

3.1.1 LAND SUBJECT TO COASTAL STORM FLOWAGE (310 CMR 10.04)

Proposed work will result in an increase of 1,579 square feet (sf) of impervious surface in LSCSF than was previously present and will result in grading and revegetating of 13,667 sf of LSCSF. The increase in impervious surface is primarily associated with the formalizing of existing worn dirt paths and parking area with bituminous asphalt for ADA accessibility.

Concrete slabs are also proposed for park benches and ADA accessible seating. Grade changes are proposed to alleviate the frequency of coastal flooding within the play structure during storm events, a rain garden is proposed to improve stormwater management, and plantings are proposed to improve habitat and aesthetics on the Site.

3.2 WORK IN BUFFER ZONES

Portions of the Project are proposed to occur within the 100' buffer zone to BVW. Due to the nature and location of the Project, buffer zone impacts are unavoidable. The Project was designed to impose the least possible impacts to buffer zone practicable while meeting ADA standards in reconstructing the Playground.

4.0 MITIGATION MEASURES

4.1 EROSION AND SEDIMENTATION CONTROLS

Erosion and sedimentation controls will be installed and maintained where activities are proposed within or adjacent to resource areas to avoid impacts during construction. The erosion controls will provide a limit of work barrier while preventing silt and sediments from migrating into or towards the coastal resource areas. Erosion controls shall consist of 12-inch compost filter tubes, as well as silt sacks for inlet protection on Moreland Avenue and within the Site. BMP's for erosion and sedimentation control will be adhered to for all phases of construction to minimize potential impacts to resource areas.

4.2 RESOURCE AREA MITIGATION

The Project proposes revegetation of the Site with native species to mitigate impacts, as well as to provide aesthetic value and shade cover for the playground users. All proposed plantings were deliberately and carefully chosen for the Site based on the Massachusetts Office of Coastal Zone Management (CZM) *Coastal Landscaping in Massachusetts Plant List*.

Table 1: Planting Schedule

Cover Type	Quantity	Scientific Name	Common Name
Trees	1	<i>Juniperus virginiana</i>	Eastern Red Cedar
	1	<i>Pinus rigida</i>	Pitch Pine
	2	<i>Quercus alba</i>	White Oak

Total	4		
Shrubs	5	<i>Hudsonia tomentosa</i>	Beach Heather
	8	<i>Hydrangea macrophylla</i>	Big Leaf Hydrangea
	14	<i>Ilex glabra</i>	Inkberry
	6	<i>Prunus maritima</i>	Beach Plum
	2	<i>Rosa virginiana</i>	Virginia Rose
Total	35		
Perennials & Grasses	4	<i>Andropogon gerardi</i>	Big Blue Stem
	7	<i>Limonium carolinianum</i>	Sea Lavender
	12	<i>Panicum virgatum</i>	Switchgrass
	3	<i>Solidago sempervirens</i>	Seaside Goldenrod
	7	<i>Spartina alterniflora</i>	Saltmarsh Cordgrass
Total	33		
Groundcover	10	<i>Arctostaphylos uva-ursi</i>	Bearberry
	8	<i>Juniperus communis</i>	Common Juniper
Total	18		

4.3 STORMWATER MANAGEMENT

The Stormwater Checklist and a Stormwater Report have been completed and submitted with the NOI as required (Appendix B).

The Stormwater Management System on the Site has been designed to direct runoff from impervious surfaces towards the proposed infiltration BMPs. The design meets all the requirements of the Massachusetts Stormwater Standards (the Standards), and there is an anticipated reduction in peak flow rates than under existing conditions due to the proposed revegetation. No runoff from impervious surfaces, as defined by the Standards, will flow untreated to the Wier River under proposed conditions.

The following Stormwater BMPs have been incorporated into the Project Design:

- Construction of an infiltration trench along the parking area, and
- Construction of a garden trench at the low point onsite.

5.0 REGULATORY COMPLIANCE

The Hampton Circle Playground Rehabilitation along Moreland Avenue in Hull has been designed to comply with the General Performance Standards listed in 310 CMR 10.00.

5.1 MASSACHUSETTS WETLANDS PROTECTION ACT REGULATIONS- 310 CMR 10.00

There are no Performance Standards under the Act for LSCSF. However, pursuant to the Introduction found at 310 CMR 10.21¹, the Project has been designed so work within LSCSF will protect the applicable interests of the Act.

5.1.1 LAND SUBJECT TO COASTAL STORM FLOWAGE- GENERAL PERFORMANCE STANDARDS

Pursuant to the Introduction found at 310 CMR 10.21², the Project has been designed so work within LSCSF will protect the applicable interests of the Act. Specifically, this area provides flood storage and pollution prevention interests which will be protected through meeting the Stormwater Standards, minimizing grade changes on the Site, and minimizing increases in impervious area to the extent required under ADA and to meet the Project's goals.

6.0 SUMMARY

The Project aims to improve ADA accessibility and safety, and stormwater management at Hampton Circle Playground, and has been designed to minimize and mitigate Resource Area impacts. The Project has been designed to meet all state standards and has minimized impacts to the greatest extent practical and feasible.

The Hull Community Development and Planning Department respectfully requests that the Hull Conservation Commission find these measures adequately protective of the interests of the Act in the Order of Conditions approving the work as described herein and on the accompanying plans.

¹ 310 CMR 10.21: "...310 CMR 10.21 through 10.37 are intended to ensure that development along the coastline is located, designed, built and maintained in a manner that protects the public interests in the coastal resources listed in M.G.L. c. 131, § 40. The proponent of the work must submit sufficient information to enable the issuing authority to determine whether the proposed work will comply with 310 CMR 10.21 through 10.37."

² See footnote 1

FIGURES

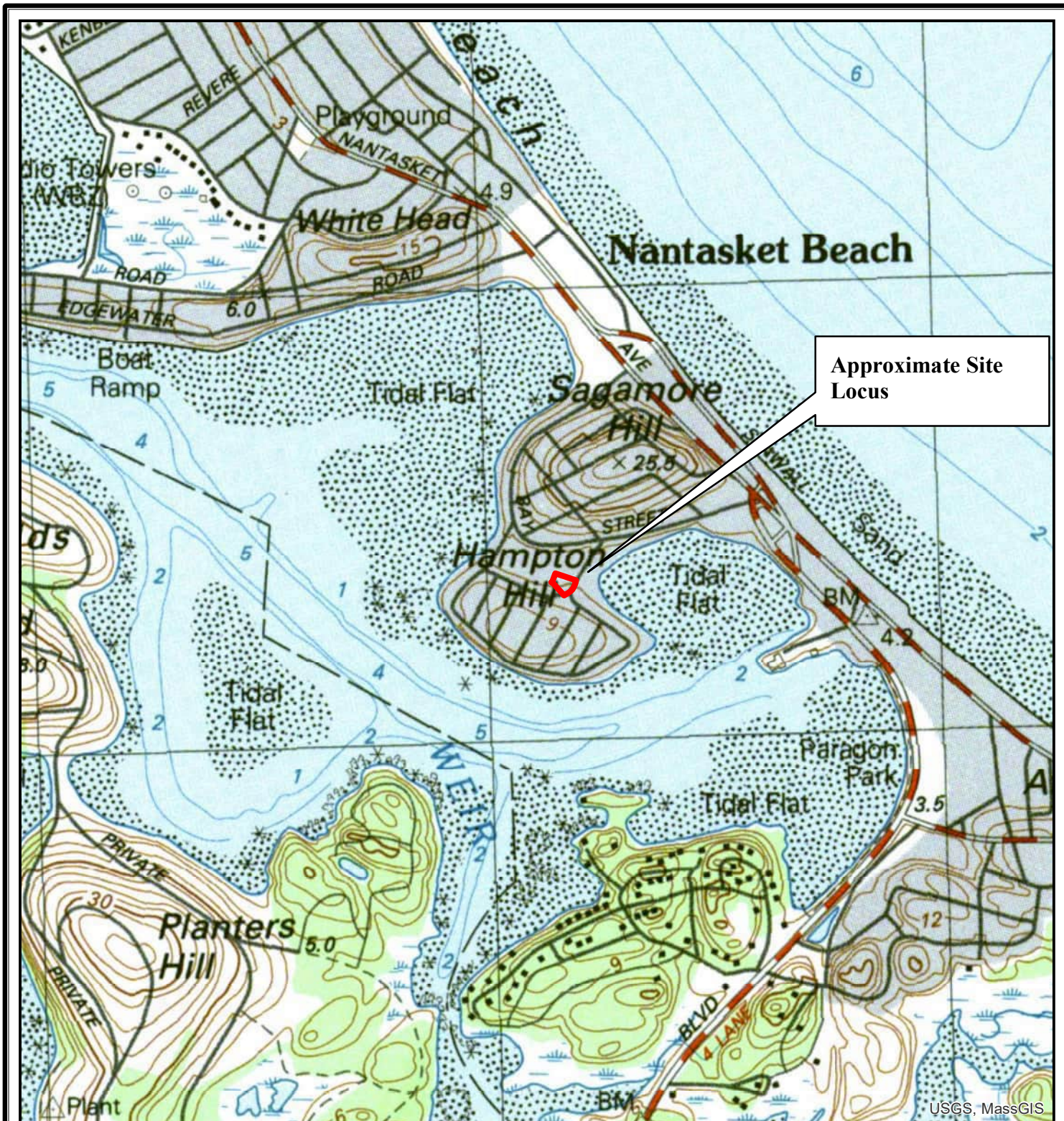
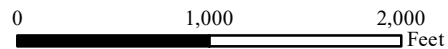
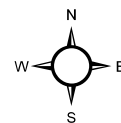


Figure 1
Site Locus
Hampton Circle Playground
Hull, MA



1 inch = 1,000 feet

Figure 2
Environmental Resources Map
Hampton Hill Playground
Hull, MA



Wetland Resources Legend

- Area of Critical Environmental Concern (ACEC)
- MassDEP Hydrologic Feature
- Marsh/Bog
- Wooded marsh
- Open Water

Mapped Habitat Legend

- NHESP Potential Vernal Pool
- NHESP Certified Vernal Pool
- NHESP Priority Habitat of Rare Species
- NHESP Estimated Habitats of Rare Wildlife

Drinking Water Protection Area Legend

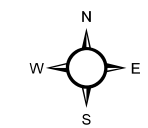
- Zone A
- Zone B
- Zone C
- MassDEP Zone I
- MassDEP Zone II
- MassDEP IWPA
- Outstanding Resource Waters

Protected Coastal Areas Legend

- CZM Coastal Zone
- Chapter 91 Jurisdiction

Open Space Legend

- Municipal



0 80 160 Feet

1 inch = 83 feet

Data Source: MassGIS USGS Color Ortho Imagery (2014), MassDEP Wetlands (1:12000) (2009), NHESP Potential Vernal Pools (2000), NHESP Certified Vernal Pools, NHESP Priority Habitats of Rare Species (2008), NHESP Estimated Habitats of Rare Species (2008), Areas of Critical Environmental Concern (2009), FEMA National Flood Hazard Layer (2014).



Figure 3
Wildlife Habitat Map
Hampton Circle Playground
Hull, MA



Legend

- NHESP Certified Vernal Pools
- NHESP Potential Vernal Pools
- NHESP Priority Habitat of Rare Species
- NHESP Estimated Habitat of Rare Wildlife

Shellfish Suitability Areas

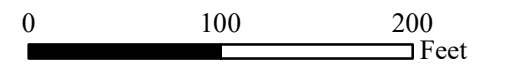
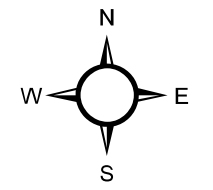
Habitat

- American Oyster
- Bay Scallop
- Blue Mussel
- European Oyster
- Ocean Quahog
- Quahog
- Razor Clam
- Sea Scallop
- Soft-shelled Clam
- Surf Clam

Designated Shellfish Growing Areas

Classification Type

- Approved
- Conditionally Approved
- Restricted
- Conditionally Restricted
- Prohibited



1 inch = 100 feet

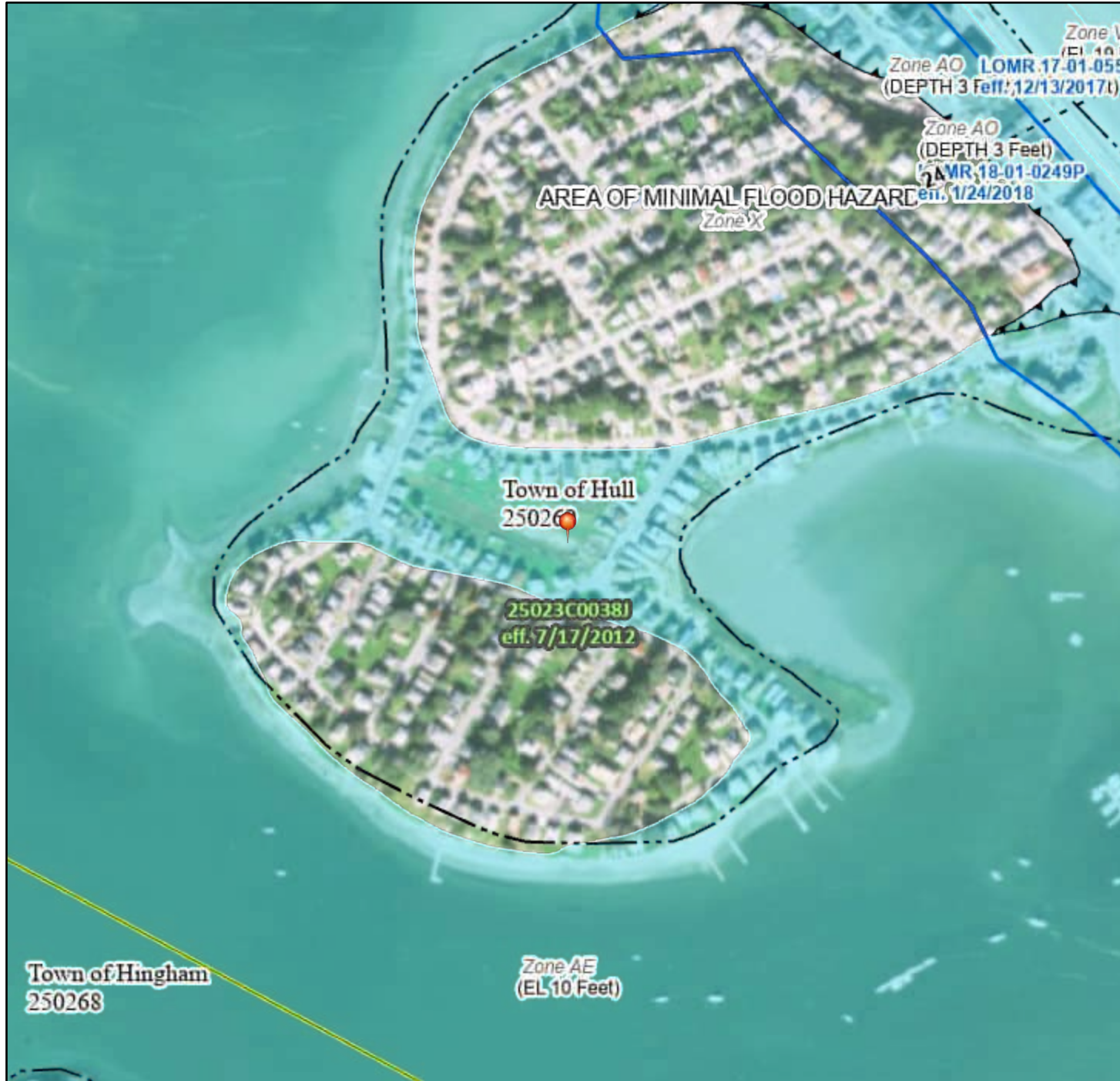
Date: 7.12.2021
 Prepared by: LK



National Flood Hazard Layer FIRMMette



70°52'12"W 42°16'30"N



Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | |
|---|---|
| <p>SPECIAL FLOOD HAZARD AREAS</p> | <ul style="list-style-type: none"> Without Base Flood Elevation (BFE)
<i>Zone A, V, A99</i> With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i> Regulatory Floodway |
| <p>OTHER AREAS OF FLOOD HAZARD</p> | <ul style="list-style-type: none"> 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i> Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i> Area with Flood Risk due to Levee <i>Zone D</i> |
| <p>OTHER AREAS</p> | <ul style="list-style-type: none"> NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i> Effective LOMRs Area of Undetermined Flood Hazard <i>Zone D</i> |
| <p>GENERAL STRUCTURES</p> | <ul style="list-style-type: none"> Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall |
| <p>OTHER FEATURES</p> | <ul style="list-style-type: none"> 20.2 Cross Sections with 1% Annual Chance 17.5 Water Surface Elevation Coastal Transect Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary Coastal Transect Baseline Profile Baseline Hydrographic Feature |
| <p>MAP PANELS</p> | <ul style="list-style-type: none"> Digital Data Available No Digital Data Available Unmapped |



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **7/22/2022 at 11:07 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

PHOTOGRAPHIC DOCUMENTATION

Photo 1



View of Salt Marsh and Coastal Beach within Weir River ACEC—facing northeast.

Photo 2



View of Salt Marsh and Coastal Beach within Weir River ACEC—facing southwest.

PHOTOGRAPHIC DOCUMENTATION

Hampton Circle Playground

Hull, Massachusetts

Photographs Documented 01.29.2022

Photo 3



View of chain link fence at the Playgrounds limit, note *Phragmites* and frozen water on the adjacent property—facing northwest.

Photo 4



View of *Phragmites* and frozen water on the adjacent property—facing north.

PHOTOGRAPHIC DOCUMENTATION

Hampton Circle Playground

Hull, Massachusetts

Photographs Documented 01.29.2022

Photo 5



View of memorial marker and flagpole within Hampton Circle Playground—facing west.

Photo 6



View of existing swing set surfaced with woodchips at the northeast corner of the playground—facing north.

PHOTOGRAPHIC DOCUMENTATION

Hampton Circle Playground

Hull, Massachusetts

Photographs Documented 01.29.2022

Photo 7



View of existing outdoor basketball court, note the lack of vegetation—facing west.

Photo 8



View of frozen water behind the basketball court—facing west.

PHOTOGRAPHIC DOCUMENTATION

Hampton Circle Playground

Hull, Massachusetts

Photographs Documented 01.29.2022

Photo 9



View of sparse vegetation and surface soil cracks indicating seasonal flooding.

Photo 10



View of catch basin west of the swing set with significant erosion.

PHOTOGRAPHIC DOCUMENTATION

Hampton Circle Playground

Hull, Massachusetts

Photographs Documented 01.29.2022

APPENDIX A

Project Plans

TOWN OF HULL, MASSACHUSETTS

HAMPTON CIRCLE PLAYGROUND

NOVEMBER 2022



TOWN MANAGER

PHILIP E. LEMNIOS

DEPARTMENT OF COMMUNITY AND PLANNING DEVELOPMENT

CHRIS DILORIO, DIRECTOR



AERIAL IMAGERY SOURCE: NEARMAP
DATE FLOWN - OCTOBER 2021

**Project
Location**

LOCATION MAP
NOT TO SCALE

PLAN INDEX

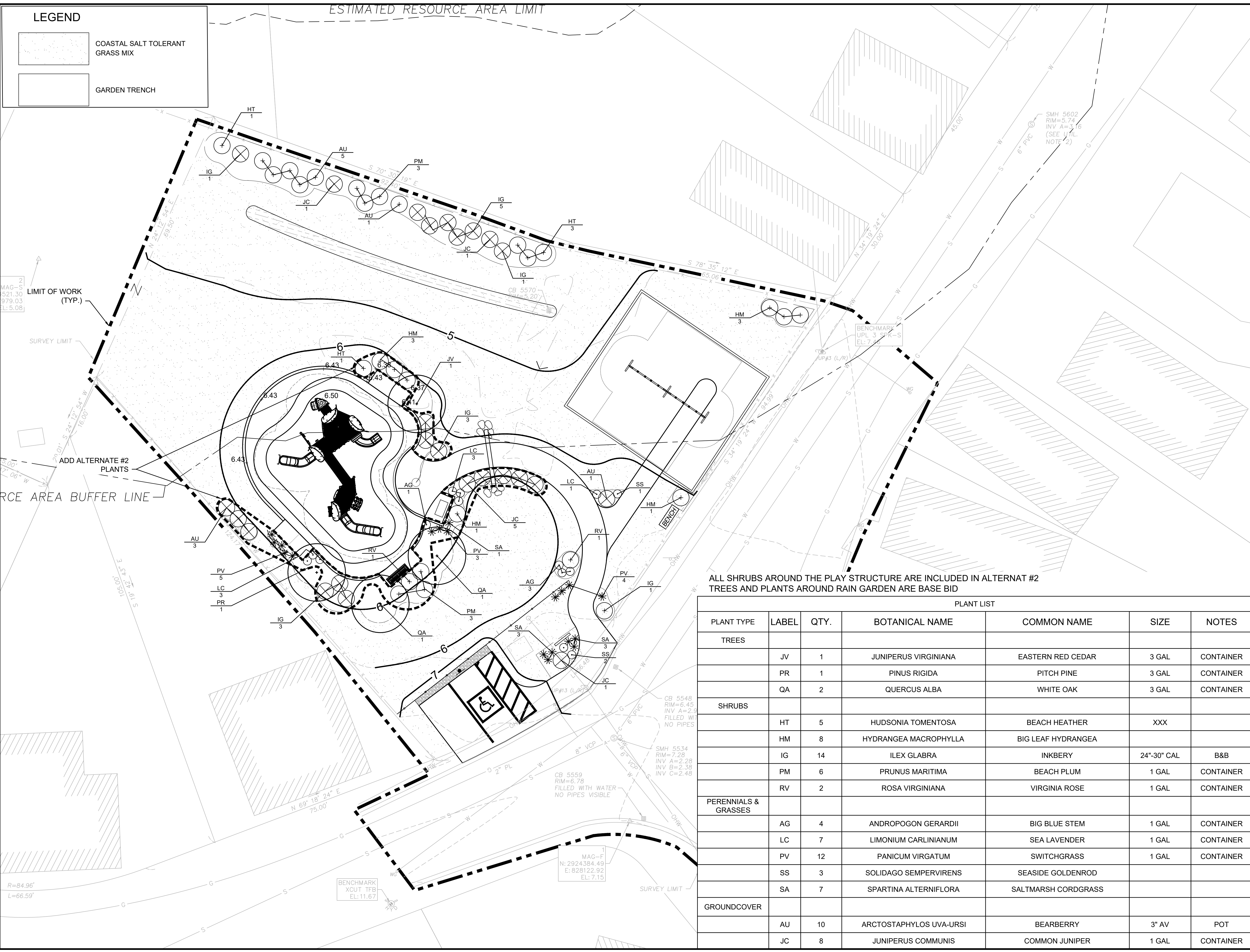
<u>SHEET NO.</u>	<u>DESCRIPTION</u>
1	COVER
2	GENERAL NOTES AND LEGEND
3	EXISTING CONDITIONS PLAN
4	SITE PREPARATION PLAN
5	MATERIALS & LAYOUT PLAN
6	GRADING PLAN
7	PLANTING PLAN
8-10	DETAILS - 1-3

PREPARED BY:



ISSUE DATE: November, 2022


11/28/2022 12:55 PM \BETA-INC.COM\PROJECTS\101003\10193 - HULL, MA - HAMPTON CIRCLE PLAYGROUND\DRAWING FILES\PLANS\10193 PLANTING.DWG (BETA STD BW.CTB)



ALL SHRUBS AROUND THE PLAY STRUCTURE ARE INCLUDED IN ALTERNAT #2
TREES AND PLANTS AROUND RAIN GARDEN ARE BASE BID

PLANT LIST

PLANT TYPE	LABEL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TREES	JV	1	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	3 GAL	CONTAINER
	PR	1	PINUS RIGIDA	PITCH PINE	3 GAL	CONTAINER
	QA	2	QUERCUS ALBA	WHITE OAK	3 GAL	CONTAINER
SHRUBS	HT	5	HUDSONIA TOMENTOSA	BEACH HEATHER	XXX	
	HM	8	HYDRANGEA MACROPHYLLA	BIG LEAF HYDRANGEA		
	IG	14	ILEX GLABRA	INKBERY	24"-30" CAL	B&B
	PM	6	PRUNUS MARITIMA	BEACH PLUM	1 GAL	CONTAINER
	RV	2	ROSA VIRGINIANA	VIRGINIA ROSE	1 GAL	CONTAINER
PERENNIALS & GRASSES	AG	4	ANDROPOGON GERARDII	BIG BLUE STEM	1 GAL	CONTAINER
	LC	7	LIMONIUM CARLINIANUM	SEA LAVENDER	1 GAL	CONTAINER
	PV	12	PANICUM VIRGATUM	SWITCHGRASS	1 GAL	CONTAINER
	SS	3	SOLIDAGO SEMPERVIRENS	SEASIDE GOLDENROD		
	SA	7	SPARTINA ALTERNIFLORA	SALTMARSH CORDGRASS		
GROUND COVER	AU	10	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	3" AV	POT
	JC	8	JUNIPERUS COMMUNIS	COMMON JUNIPER	1 GAL	CONTAINER

PREPARED BY

 www.BETA-Inc.com

REGISTERED PROFESSIONAL


SUBCONSULTANT

PROJECT
Hampton Circle Playground
 Hull, MA

TITLE
PLANTING PLAN

NO.	REVISIONS	DATE

DRAWN BY: SD/MH
 DESIGNED BY: SD/DM
 CHECKED BY: DM
 ISSUE DATE: November 2022
 BETA JOB NO.: 10193

SCALE

 SCALE IN FEET: 1"=10'

UNLESS OTHERWISE NOTED OR CHANGED BY REPRODUCTION

For Review Only

SHEET NO. **7**

APPENDIX B

Stormwater Management Report



Checklist for Stormwater Report

A. Introduction

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.¹ This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8²
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

¹ The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

² For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



Checklist for Stormwater Report

B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

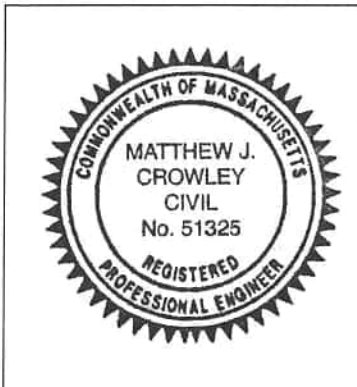
Note: Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



Matthew Crowley
Signature and Date

11/23/22

Checklist

Project Type: Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment



Checklist for Stormwater Report

Checklist (continued)

LID Measures: Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
 - Credit 1
 - Credit 2
 - Credit 3
- Use of “country drainage” versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe): Disconnected impervious area

Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



Checklist for Stormwater Report

Checklist (continued)

Standard 2: Peak Rate Attenuation

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

Standard 3: Recharge

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
 - Static
 - Simple Dynamic
 - Dynamic Field¹
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
 - Site is comprised solely of C and D soils and/or bedrock at the land surface
 - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
 - Solid Waste Landfill pursuant to 310 CMR 19.000
 - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

¹ 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



Checklist for Stormwater Report

Checklist (continued)

Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
 - Provisions for storing materials and waste products inside or under cover;
 - Vehicle washing controls;
 - Requirements for routine inspections and maintenance of stormwater BMPs;
 - Spill prevention and response plans;
 - Provisions for maintenance of lawns, gardens, and other landscaped areas;
 - Requirements for storage and use of fertilizers, herbicides, and pesticides;
 - Pet waste management provisions;
 - Provisions for operation and management of septic systems;
 - Provisions for solid waste management;
 - Snow disposal and plowing plans relative to Wetland Resource Areas;
 - Winter Road Salt and/or Sand Use and Storage restrictions;
 - Street sweeping schedules;
 - Provisions for prevention of illicit discharges to the stormwater management system;
 - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
 - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
 - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
 - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
 - is within the Zone II or Interim Wellhead Protection Area
 - is near or to other critical areas
 - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
 - involves runoff from land uses with higher potential pollutant loads.
 - The Required Water Quality Volume is reduced through use of the LID site Design Credits.
 - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



Checklist for Stormwater Report

Checklist (continued)

Standard 4: Water Quality (continued)

- The BMP is sized (and calculations provided) based on:
 - The ½" or 1" Water Quality Volume or
 - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does **not** cover the land use.
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

Standard 6: Critical Areas

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
 - Limited Project
 - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
 - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
 - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
 - Bike Path and/or Foot Path
 - Redevelopment Project
 - Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
 - Construction Period Operation and Maintenance Plan;
 - Names of Persons or Entity Responsible for Plan Compliance;
 - Construction Period Pollution Prevention Measures;
 - Erosion and Sedimentation Control Plan Drawings;
 - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
 - Vegetation Planning;
 - Site Development Plan;
 - Construction Sequencing Plan;
 - Sequencing of Erosion and Sedimentation Controls;
 - Operation and Maintenance of Erosion and Sedimentation Controls;
 - Inspection Schedule;
 - Maintenance Schedule;
 - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit.
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

Standard 9: Operation and Maintenance Plan

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
 - Name of the stormwater management system owners;
 - Party responsible for operation and maintenance;
 - Schedule for implementation of routine and non-routine maintenance tasks;
 - Plan showing the location of all stormwater BMPs maintenance access areas;
 - Description and delineation of public safety features;
 - Estimated operation and maintenance budget; and
 - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
 - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
 - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

Standard 10: Prohibition of Illicit Discharges

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

STORMWATER MANAGEMENT CHECKLIST NARRATIVE HAMPTON CIRCLE PLAYGROUND, HULL, MA

November 2022

The Town of Hull Community Development and Planning Department proposes playground improvements (the Project) at Hampton Circle Playground (the Playground) off Moreland Avenue in Hull, Massachusetts. The purpose of the Project is to provide safe, upgraded amenities to users of the Playground while improving compliance with standards set forth by the Americans with Disabilities Act (ADA). A lack of vegetation and seating at the Playground, in addition to the general state of disrepair of the remaining play equipment, prevents full enjoyment of this area as an outdoor space to the community. In addition to new play equipment, the Project proposes stormwater Best Management Practices (BMPs) and Site grading to decrease flooding of the play structures, improve flood flow pathways to the extent practicable, and provide treatment of runoff from impervious areas. Specifically, work proposed includes:

- Removal of overgrown vegetation from the existing chain link fence;
- Removal of one section of 4-foot chain link fence near existing unpaved parking area;
- Removal of existing swing set structure and woodchipped play surface;
- Removal and relocation of existing flagpole, memorial and sign;
- Installation of an ADA compliant bituminous asphalt pathway;
- Installation of new playground equipment, including a play structure and swing set;
- Surfacing new play areas with pervious compound;
- Construction of stormwater Best Management Practices (BMPs);
- Construction of two designated bituminous asphalt parking spaces; and
- Installation of plantings, and grading.

The following is a narrative outlining the Stormwater Management Standards and their relation to the proposed Project. The majority of the Project consists of footpaths, bikepaths, and other paths for pedestrian and/or non-motorized vehicle access and is thus required to meet the Stormwater Standards only to the maximum extent practicable under 310 CMR 10.05(6)(m)6. The proposed parking area does not fall under this definition and is required to fully comply with the Stormwater Standards. This area includes approximately 425± sq. ft. of impervious surface.

LID Measures:

Proposed LID measures include:

- Minimizing disturbance to existing trees and shrubs
- Use of “country drainage” versus curb and gutter conveyance and pipe
- Disconnected impervious area

STORMWATER MANAGEMENT CHECKLIST NARRATIVE HAMPTON CIRCLE PLAYGROUND, HULL, MA

Standard 1: No New Untreated Discharges

No new discharges to Wetland Resource Areas will result from the Project and existing overland flows over vegetated surfaces with mild slopes will not cause erosion. An 8" PVC culvert is proposed beneath the pedestrian pathway and a riprap apron over filter fabric is proposed to mitigate erosion potential – project complies.

Standard 2: Peak Rate Attenuation

The Project will increase impervious coverage at the Site by 1,579 sq. ft., of which 1,154 sq. ft. consists of pedestrian pathways and the remaining 425 sq. ft. consists of a small parking area along Moreland Avenue. As noted above, pedestrian pathways are only required to meet the Stormwater Management Standards to the maximum extent practicable.

While the Project does propose a slight increase in impervious area, increases to peak flow rates will be mitigated by restoring sparsely vegetated areas with new grass cover (coastal salt tolerant grass mix) and by directing small impervious areas over larger pervious areas to promote natural infiltration and vegetative uptake. The proposed improvements will decrease the CN value and increase the time of concentration for the Site and will therefore result in a reduction in peak flow rates for all storms.

Although a waiver is not being requested at this time, the Project is also exempt from Standard 2 due to its location in an area subject to coastal storm flowage – project complies.

Standard 3: Recharge

The project proposes to use country drainage to promote natural infiltration and a shallow ponding area (garden trench) is proposed within the northern portion of the Site.

NRCS soil maps indicate the Site is located almost entirely within Udorthents, wet substratum with an HSG rating of B/D (moderate infiltration rate when unsaturated and poor infiltration rate when saturated) and an estimated depth to the water table of less than 2 feet.

For the proposed increase in impervious area that is fully subject to the Standards (425 sq. ft.) and assuming HSG B, the required recharge volume is 12± cu. ft. (425 sq. ft. x 0.35"/12), which will readily be provided in the gravel trench adjacent to the new parking space and garden trench. Formal recharge for other new impervious areas that are only subject to the Standards to the maximum extent practicable has not been provided due to the following:

- Soils in the area are mapped as HSG B/D, suggesting poor infiltration potential when saturated.
- Inadequate separation to groundwater to provide structural infiltration practices.

STORMWATER MANAGEMENT CHECKLIST NARRATIVE HAMPTON CIRCLE PLAYGROUND, HULL, MA

- Areas of standing water are detrimental to the Site's use as a playground, raise safety concerns, and may create mosquito breeding habitat.

Although no formal recharge areas are proposed, the vegetative improvements will reduce the CN value for the Site and correspond to a reduction in total runoff volume (i.e. increased recharge) for all storms – project complies.

Standard 4: Water Quality

The Site is located within the Boston Harbor watershed and is subject to a TMDL for pathogens, with indicators including Enterococci and Fecal Coliform. Pathogen sources include combined sewer overflows, sanitary sewer overflows, and wastewater treatment plant discharges. The Project is not anticipated to be a measurable contributor of pathogens within the watershed. Long-term pollution prevention will be performed by maintaining the Playground in accordance with standard Town maintenance operations.

The Project proposes to disconnect impervious areas and direct them over larger, well-vegetated pervious areas to promote natural filtration and vegetative uptake of pollutants and nutrients. For the proposed increase in impervious area that is fully subject to the Standards (425 sq. ft.), a treatment train consisting of a gravel trench (pea stone diaphragm), vegetated filter strip, and a garden trench (rain garden) will provide the required 80% TSS removal. Although the pedestrian pathways are only required to meet the Standards to the maximum extent practicable and are not typically subject to the same pollutant loads of roadways and parking areas they will also be directed across the vegetated filter strip and to the garden trench to provide treatment – project complies.

Standard 5: Land Uses with Higher Potential Pollutant Loads (LUHPPLs)

The Project does not propose Land Uses with Higher Potential Pollutant Loads – standard not applicable.

Standard 6: Critical Areas

Although the configuration of the existing closed drainage system is unknown, it is anticipated that stormwater runoff from the Project is directed to the Weir River which is considered to be a critical area as a shellfish growing area.

As a playground, impervious surfaces will generally not be subjected to the same pollutant loads as conventional roadways or parking areas and as documented in the Standard 4 narrative, pollutant loads are anticipated to be mitigated to the extent required – Project complies.

STORMWATER MANAGEMENT CHECKLIST NARRATIVE HAMPTON CIRCLE PLAYGROUND, HULL, MA

Standard 7: Redevelopment

The project is a new development with most new impervious surfaces subject to the Standards to the maximum extent practicable under 310 CMR 10.05(6)(m)6.

The Project will fully comply with Standards 1-4 and 6-10, for new development areas and will comply to the maximum extent practicable for other areas. Standard 5 is not applicable – project complies.

Standard 8: Construction Period Pollution Prevention and Erosion and Sediment Control

This Project will not disturb more than an acre of land; therefore, a Stormwater Pollution Prevention Plan (SWPPP) is not required to be completed and submitted as part of a Notice of Intent (NOI) to the Environmental Protection Agency (EPA). The Project will provide erosion and sedimentation controls as shown on the Project Plans and will include compost filter tubes and catch basin inlet protection. All erosion controls will be maintained in good working order until stabilization at the Site is achieved. Erosion and sedimentation control measures are also summarized in the Notice of Intent – project complies.

Standard 9: Long Term Operation and Maintenance Plan

The Project includes construction of an 8" PVC culvert and associated riprap aprons, as well as the proposed garden trench. Additionally, the existing catch basin will be retained. Operation and maintenance of these stormwater devices will be included in the Town-wide Maintenance Plan – project complies.

Standard 10: Prohibition of Illicit Discharges

There are currently no known illicit discharges within the Project limits and new illicit discharges are prohibited – project complies.