

VICINITY MAP  
SCALE: 1"=1,000'

# PARAGON DUNES MIXED-USE REDEVELOPMENT

189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD  
HULL, MASSACHUSETTS

PERMITTING PLANS  
OCTOBER 2023

SITE PLANS				
SHEET NUMBER	DRAWING NUMBER	SHEET TITLE	DATE ISSUED	DATE REVISED
<b>CIVIL AND LANDSCAPING</b>				
1	C000	COVER SHEET	OCTOBER 10, 2023	
2	C001	GENERAL NOTES	OCTOBER 10, 2023	
3	C100	DEMOLITION & EROSION CONTROL PLAN	OCTOBER 10, 2023	
4	C101	DEMOLITION & EROSION CONTROL PLAN	OCTOBER 10, 2023	
5	C102	DEMOLITION & EROSION CONTROL PLAN	OCTOBER 10, 2023	
6	C103	DEMOLITION & EROSION CONTROL PLAN	OCTOBER 10, 2023	
7	C200	LAYOUT & MATERIALS PLAN	OCTOBER 10, 2023	
8	C201	LAYOUT & MATERIALS PLAN	OCTOBER 10, 2023	
9	C202	LAYOUT & MATERIALS PLAN	OCTOBER 10, 2023	
10	C203	LAYOUT & MATERIALS PLAN	OCTOBER 10, 2023	
11	C300	GRADING & DRAINAGE PLAN	OCTOBER 10, 2023	
12	C301	GRADING & DRAINAGE PLAN	OCTOBER 10, 2023	
13	C302	GRADING & DRAINAGE PLAN	OCTOBER 10, 2023	
14	C303	GRADING & DRAINAGE PLAN	OCTOBER 10, 2023	
15	C500	UTILITY PLAN	OCTOBER 10, 2023	
16	C501	UTILITY PLAN	OCTOBER 10, 2023	
17	C502	UTILITY PLAN	OCTOBER 10, 2023	
18	C503	UTILITY PLAN	OCTOBER 10, 2023	
19	C700	LANDSCAPE PLAN OVERALL	OCTOBER 10, 2023	
20	C701	LANDSCAPE PLAN	OCTOBER 10, 2023	
21	C702	LANDSCAPE PLAN	OCTOBER 10, 2023	
22	C703	LANDSCAPE PLAN	OCTOBER 10, 2023	
23	C704	LANDSCAPE ENLARGEMENT PLAN	OCTOBER 10, 2023	
24	C705	LANDSCAPE DETAILS	OCTOBER 10, 2023	
25	C800	SITE DETAILS	OCTOBER 10, 2023	
26	C801	SITE DETAILS	OCTOBER 10, 2023	
27	C802	SITE DETAILS	OCTOBER 10, 2023	
<b>SURVEY</b>				
1	SV-01	EXISTING CONDITIONS PLAN OVERALL	OCTOBER 10, 2023	
2	SV-02	EXISTING CONDITIONS PLAN	OCTOBER 10, 2023	
3	SV-03	EXISTING CONDITIONS PLAN	OCTOBER 10, 2023	
4	SV-04	EXISTING CONDITIONS PLAN	OCTOBER 10, 2023	
5	SV-05	EXISTING CONDITIONS PLAN	OCTOBER 10, 2023	
<b>ARCHITECTURE</b>				
1	G-003A	PROGRAM SUMMARY	OCTOBER 10, 2023	
2	G-006	OVERALL BUILDING AXONOMETRICS & RENDERINGS	OCTOBER 10, 2023	
3	AS002	ARCHITECTURAL SITE PLAN - ENLARGED	OCTOBER 10, 2023	
4	A-101	FLOOR PLAN - PARKING LEVEL	OCTOBER 10, 2023	
5	A-102a	FLOOR PLAN - 1ST FLOOR	OCTOBER 10, 2023	
6	A-103a	FLOOR PLAN - 2ND FLOOR	OCTOBER 10, 2023	
7	A-104a	FLOOR PLAN - 3RD FLOOR	OCTOBER 10, 2023	
8	A-105	ROOF PLAN	OCTOBER 10, 2023	
9	A-220	BUILDING ELEVATIONS	OCTOBER 10, 2023	
10	A-221	BUILDING ELEVATIONS	OCTOBER 10, 2023	
11	A-300	BUILDING SECTIONS I	OCTOBER 10, 2023	



SITE MAP  
SCALE: 1"=100'

REFERENCE: ORTHOGRAPHIC AERIAL IMAGERY AND MAPS ARE BASED ON GIS DATA OBTAINED FROM MASSGIS PROVIDED BY THE BUREAU OF GEOGRAPHIC INFORMATION (MASSGIS), COMMONWEALTH OF MASSACHUSETTS, EXECUTIVE OFFICE OF TECHNOLOGY AND SECURITY SERVICES.

### OWNER/TEAM INFORMATION

**APPLICANT**  
THE PROCOPIO COMPANIES  
33 VILLAGE ROAD  
MIDDLETON, MA 01949  
PH: (781) 484-1022  
CONTACT: MICHAEL MONDOONO

**OWNER**  
NANTASKET DUNE HOLDINGS, LLC  
PO BOX 2  
HINGHAM, MA 02043  
CONTACT: CHRIS REALE

**CIVIL ENGINEER/LAND SURVEYOR**  
CIVIL & ENVIRONMENTAL CONSULTANTS, INC.  
31 BELLOWS ROAD  
RAYNHAM, MA 02767  
PH: (774) 501-2176  
CONTACT: KARLIS P. SKULTE, P.E.

**TRANSPORTATION ENGINEER**  
MCMAHON, A BOWMAN COMPANY  
120 WATER STREET, 4TH FLOOR  
BOSTON, MA 02109  
PH: (617) 558-0020  
CONTACT: ERIN FREDETTE, P.E.

**ARCHITECT**  
MONTE FRENCH DESIGN GROUP  
650 COLLINGBURY AVENUE, SUITE A  
BOSTON, MA 02118  
PH: (532) 514-9119  
CONTACT: ALEX YOON, CPHC

**LANDSCAPE ARCHITECT**  
CIVIL & ENVIRONMENTAL CONSULTANTS, INC.  
31 BELLOWS ROAD  
RAYNHAM, MA 02767  
PH: (774) 501-2176  
CONTACT: REBECCA FEIGH, RLA

### SITE DATA

ADDRESS: 189 & 193 NANTASKET AVENUE &  
0 GEORGE WASHINGTON BOULEVARD  
HULL, MA 02045

PARCEL I.D.: 37-002, 37-003, 37-004

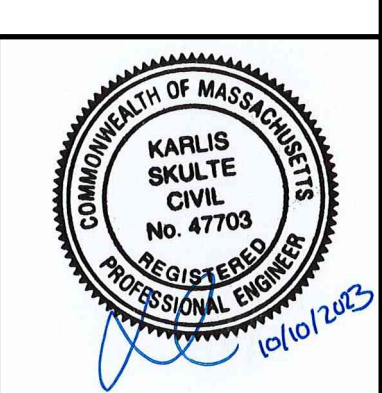
TOTAL AREA: 3.4 ACRES  
ZONING DISTRICT: COMMERCIAL RECREATION B  
NANTASKET BEACH OVERLAY DISTRICT

SUBMITTAL & REVISION RECORD

  
**Civil & Environmental Consultants, Inc.**  
 31 BelloWS Road - Raynham, MA 02767  
 PH: 774.501.2176 - Fax: 774.501.2669  
 www.cecinc.com

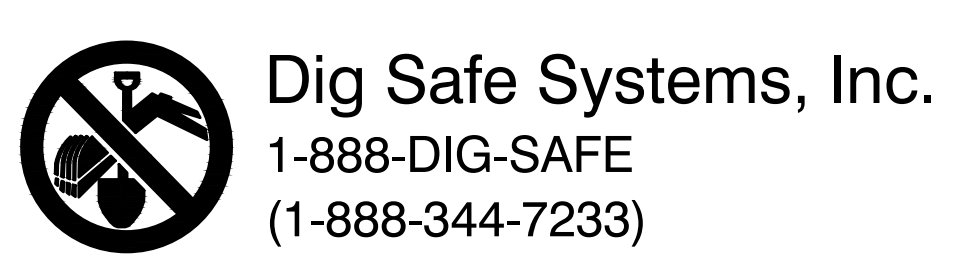
**PARAGON DUNES  
MIXED-USE REDEVELOPMENT  
189 & 193 NANTASKET AVENUE &  
0 GEORGE WASHINGTON BOULEVARD  
HULL, MASSACHUSETTS**

**COVER SHEET**  
 DATE: OCTOBER 10, 2023 | DRAWN BY: CJV  
 DWG SCALE: AS SHOWN | CHECKED BY: KPS  
 PROJECT NO: 334-762  
 APPROVED BY: KPS



DRAWING NO: **C000**  
SHEET 1 OF 27

A:\300-2021\334-762-0002\Drawings\0071\334762-001-0002.dwg(03/09) 15:10/10/2023 - mhuang - 10/11/2023 8:30 AM







SUBMITTAL & REVISION RECORD

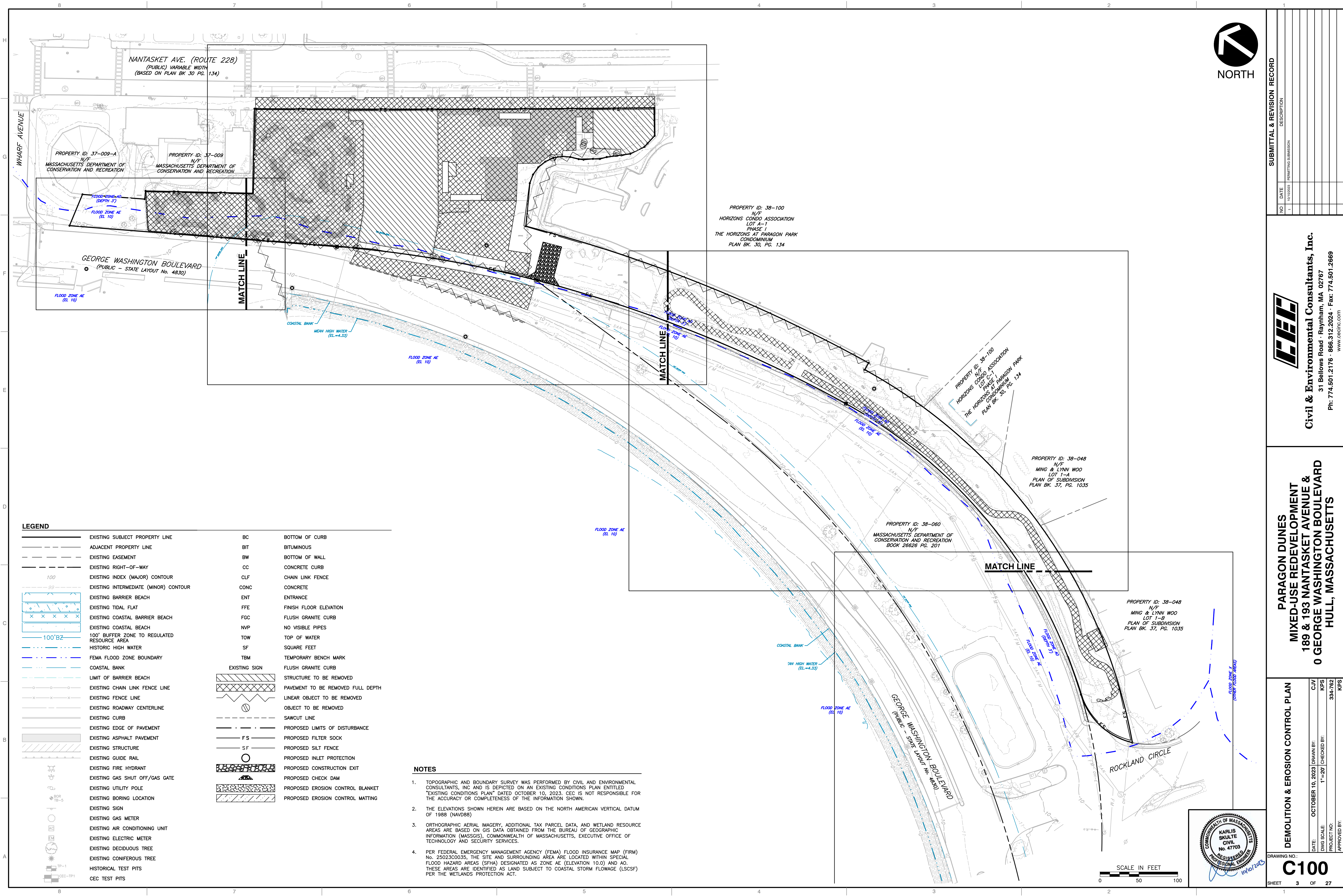
NO.	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION

**Civil & Environmental Consultants, Inc.**  
 31 Bellows Road · Raynham, MA 02767  
 Ph: 774.501.2176 · 866.312.2024 · Fax: 774.501.2669  
 www.cecinc.com

**PARAGON DUNES  
 MIXED-USE REDEVELOPMENT  
 189 & 193 NANTASKET AVENUE &  
 0 GEORGE WASHINGTON BOULEVARD  
 HULL, MASSACHUSETTS**

**DEMOLITION & EROSION CONTROL PLAN**

DATE: OCTOBER 10, 2023 DRAWN BY: CJV  
 DWG SCALE: 1"=20' CHECKED BY: KPS  
 PROJECT NO: 334-762  
 APPROVED BY: KPS



**LEGEND**

	EXISTING SUBJECT PROPERTY LINE	BC	BOTTOM OF CURB
	ADJACENT PROPERTY LINE	BIT	BITUMINOUS
	EXISTING EASEMENT	BW	BOTTOM OF WALL
	EXISTING RIGHT-OF-WAY	CC	CONCRETE CURB
	EXISTING INDEX (MAJOR) CONTOUR	CLF	CHAIN LINK FENCE
	EXISTING INTERMEDIATE (MINOR) CONTOUR	CONC	CONCRETE
	EXISTING BARRIER BEACH	ENT	ENTRANCE
	EXISTING TIDAL FLAT	FFE	FINISH FLOOR ELEVATION
	EXISTING COASTAL BARRIER BEACH	FGC	FLUSH GRANITE CURB
	EXISTING COASTAL BEACH	NVP	NO VISIBLE PIPES
	100' BUFFER ZONE TO REGULATED RESOURCE AREA	TOW	TOP OF WATER
	HISTORIC HIGH WATER	SF	SQUARE FEET
	FEMA FLOOD ZONE BOUNDARY	TBM	TEMPORARY BENCH MARK
	COASTAL BANK		FLUSH GRANITE CURB
	LIMIT OF BARRIER BEACH		STRUCTURE TO BE REMOVED
	EXISTING CHAIN LINK FENCE LINE		PAVEMENT TO BE REMOVED FULL DEPTH
	EXISTING FENCE LINE		LINEAR OBJECT TO BE REMOVED
	EXISTING ROADWAY CENTERLINE		OBJECT TO BE REMOVED
	EXISTING CURB		SAWCUT LINE
	EXISTING EDGE OF PAVEMENT		PROPOSED LIMITS OF DISTURBANCE
	EXISTING ASPHALT PAVEMENT	F S	PROPOSED FILTER SOCK
	EXISTING STRUCTURE	S F	PROPOSED SILT FENCE
	EXISTING GUIDE RAIL		PROPOSED INLET PROTECTION
	EXISTING FIRE HYDRANT		PROPOSED CONSTRUCTION EXIT
	EXISTING GAS SHUT OFF/GAS GATE		PROPOSED CHECK DAM
	EXISTING UTILITY POLE		PROPOSED EROSION CONTROL BLANKET
	EXISTING BORING LOCATION		PROPOSED EROSION CONTROL MATTING
	EXISTING SIGN		
	EXISTING GAS METER		
	EXISTING AIR CONDITIONING UNIT		
	EXISTING ELECTRIC METER		
	EXISTING DECIDUOUS TREE		
	EXISTING CONIFEROUS TREE		
	HISTORICAL TEST PITS		
	CEC TEST PITS		

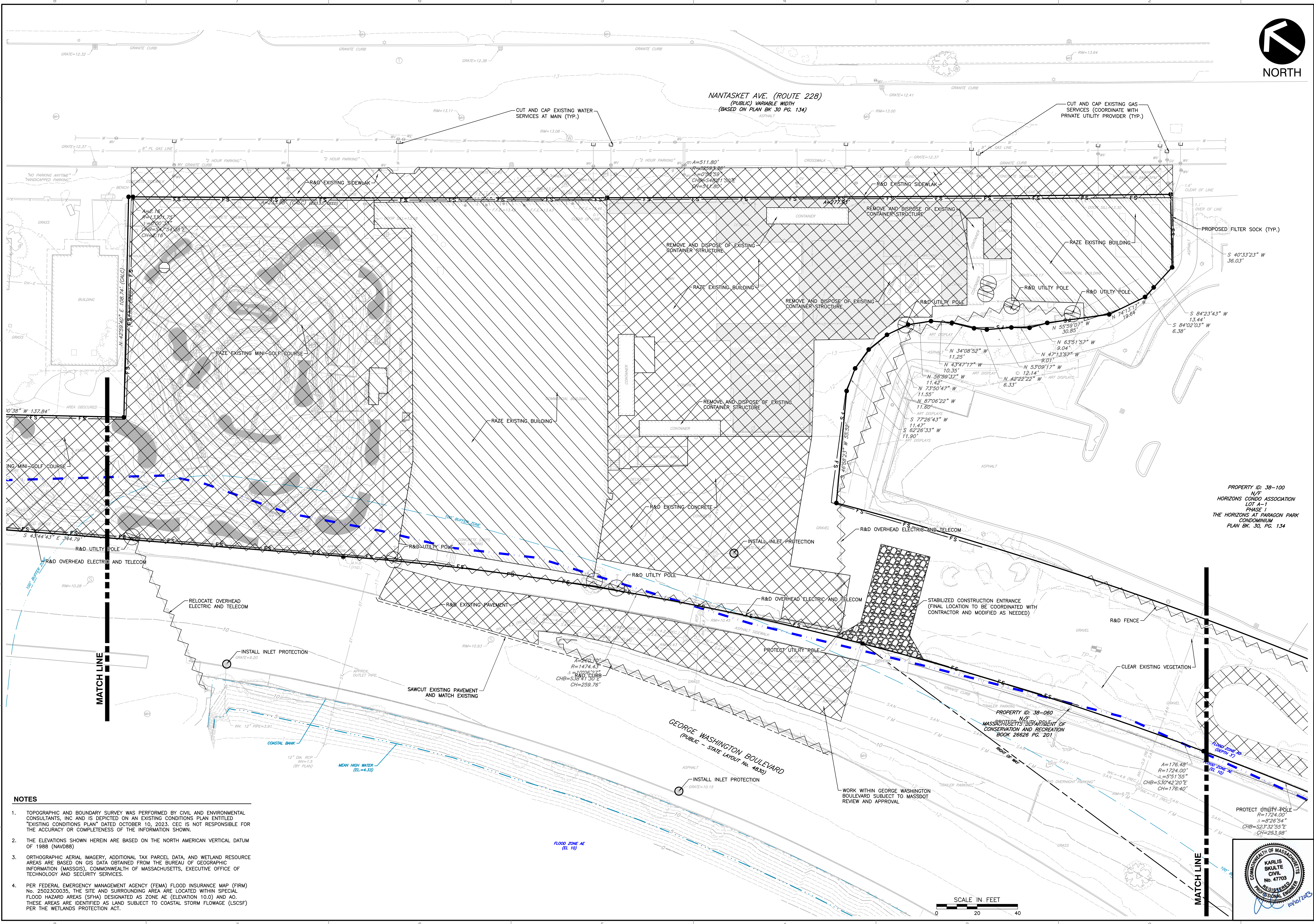
**NOTES**

- TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY CIVIL AND ENVIRONMENTAL CONSULTANTS, INC AND IS DEPICTED ON AN EXISTING CONDITIONS PLAN ENTITLED "EXISTING CONDITIONS PLAN" DATED OCTOBER 10, 2023. CEC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
- THE ELEVATIONS SHOWN HEREIN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
- ORTHOGRAPHIC AERIAL IMAGERY, ADDITIONAL TAX PARCEL DATA, AND WETLAND RESOURCE AREAS ARE BASED ON GIS DATA OBTAINED FROM THE BUREAU OF GEOGRAPHIC INFORMATION (MASSGIS), COMMONWEALTH OF MASSACHUSETTS, EXECUTIVE OFFICE OF TECHNOLOGY AND SECURITY SERVICES.
- PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE MAP (FIRM) NO. 25023C0035, THE SITE AND SURROUNDING AREA ARE LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS (SFHA) DESIGNATED AS ZONE AE (ELEVATION 10.0) AND AO. THESE AREAS ARE IDENTIFIED AS LAND SUBJECT TO COASTAL STORM FLOWAGE (LSCSF) PER THE WETLANDS PROTECTION ACT.

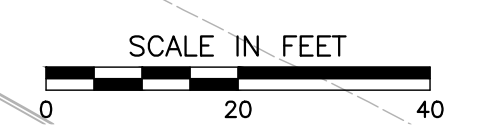
SCALE IN FEET  
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- NOTES**
1. TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY CIVIL AND ENVIRONMENTAL CONSULTANTS, INC AND IS DEPICTED ON AN EXISTING CONDITIONS PLAN ENTITLED "EXISTING CONDITIONS PLAN" DATED OCTOBER 10, 2023. CEC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
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NO.	DATE	DESCRIPTION
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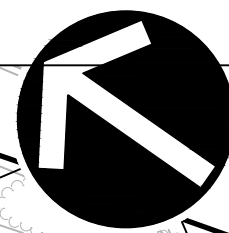
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 MIXED-USE REDEVELOPMENT  
 189 & 193 NANTASKET AVENUE &  
 0 GEORGE WASHINGTON BOULEVARD  
 HULL, MASSACHUSETTS**

**DEMOLITION & EROSION CONTROL PLAN**

DRAWING NO. **C101**  
 SHEET 4 OF 27

DATE: OCTOBER 10, 2023  
 DRAWN BY: CJW  
 PROJECT NO: 11-20  
 CHECKED BY: KPS  
 APPROVED BY: KPS



NORTH

R&D FENCE

(A=540.92' DEED)  
A=540.61' (TOTAL)  
R=1908.48'  
Δ=16°13'48"  
CHB=N27°26'33"W  
CH=538.81'

A=176.48'  
R=1724.00'  
Δ=5°51'55"  
CHB=S30°42'20"E  
CH=176.40'

PROTECT UTILITY POLE  
R=1724.00'  
Δ=8°26'54"  
CHB=S23°32'55"E  
CH=263.98'

A=610.25'  
R=687.27'  
Δ=50°52'29"  
CHB=N6°06'36"E  
CH=590.40'

PROPERTY ID: 38-100  
N/F  
HORIZONS CONDO ASSOCIATION  
LOT A-1  
PHASE 1  
THE HORIZONS AT PARAGON PARK  
CONDOMINIUM  
PLAN BK. 30, PG. 134

PROPERTY ID: 38-048  
N/F  
MING & LYNN WOO  
LOT 1-A  
PLAN OF SUBDIVISION  
PLAN BK. 37, PG. 1035

PROPERTY ID: 38-060  
N/F  
MASSACHUSETTS DEPARTMENT OF  
CONSERVATION AND RECREATION  
BOOK 26626 PG. 201

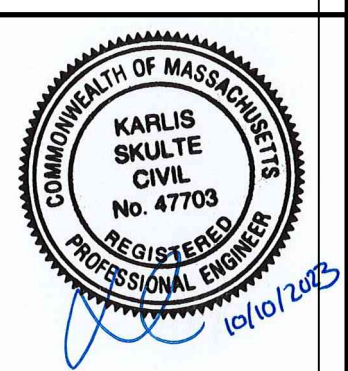
A=493.05'  
R=637.27'  
Δ=44°19'45"  
CHB=S25°04'44"W  
CH=480.84'

A=610.25'  
R=687.27'  
Δ=50°52'29"  
CHB=N6°06'36"E  
CH=590.40'

LEGEND

	EXISTING SUBJECT PROPERTY LINE		EXISTING STRUCTURE		STRUCTURE TO BE REMOVED
	ADJACENT PROPERTY LINE		EXISTING GUIDE RAIL		PAVEMENT TO BE REMOVED FULL DEPTH
	EXISTING EASEMENT		EXISTING FIRE HYDRANT		LINEAR OBJECT TO BE REMOVED
	EXISTING RIGHT-OF-WAY		EXISTING GAS SHUT OFF/GAS GATE		OBJECT TO BE REMOVED
	EXISTING INDEX (MAJOR) CONTOUR		EXISTING UTILITY POLE		SAWCUT LINE
	EXISTING INTERMEDIATE (MINOR) CONTOUR		EXISTING BORING LOCATION		PROPOSED LIMITS OF DISTURBANCE
	EXISTING BARRIER BEACH		EXISTING SIGN		PROPOSED FILTER SOCK
	EXISTING COASTAL BARRIER BEACH		EXISTING GAS METER		PROPOSED SILT FENCE
	EXISTING COASTAL BEACH		EXISTING AIR CONDITIONING UNIT		PROPOSED INLET PROTECTION
	RESOURCE AREA		EXISTING ELECTRIC METER		PROPOSED CONSTRUCTION EXIT
	HISTORIC HIGH WATER		EXISTING DECIDUOUS TREE		PROPOSED CHECK DAM
	FEMA FLOOD ZONE BOUNDARY		EXISTING CONIFEROUS TREE		PROPOSED EROSION CONTROL BLANKET
	COASTAL BANK		HISTORICAL TEST PITS		PROPOSED EROSION CONTROL MATTING
	LIMIT OF BARRIER BEACH		CEC TEST PITS		
	EXISTING CHAIN LINK FENCE LINE		BC		
	EXISTING FENCE LINE		BIT		
	EXISTING ROADWAY CENTERLINE		BW		
	EXISTING CURB		CC		
	EXISTING EDGE OF PAVEMENT		CLF		
	EXISTING ASPHALT PAVEMENT		CONC		
			ENT		
			FFE		
			FG		
			NVP		
			TOW		
			SF		
			TBM		
			EXISTING SIGN		
			FLUSH GRANITE CURB		

- NOTES**
- TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY CIVIL AND ENVIRONMENTAL CONSULTANTS, INC AND IS DEPICTED ON AN EXISTING CONDITIONS PLAN ENTITLED "EXISTING CONDITIONS PLAN" DATED OCTOBER 10, 2023. CEC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
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DRAWING NO. **C102**

SHEET 5 OF 27

DATE: OCTOBER 10, 2023 | DRAWN BY: CJV | KPS  
 DWG SCALE: 1"=20' | CHECKED BY: KPS | 334-762  
 PROJECT NO: 10102023 PERMITTING SUBMISSION  
 APPROVED BY: KPS

**DEMOLITION & EROSION CONTROL PLAN**

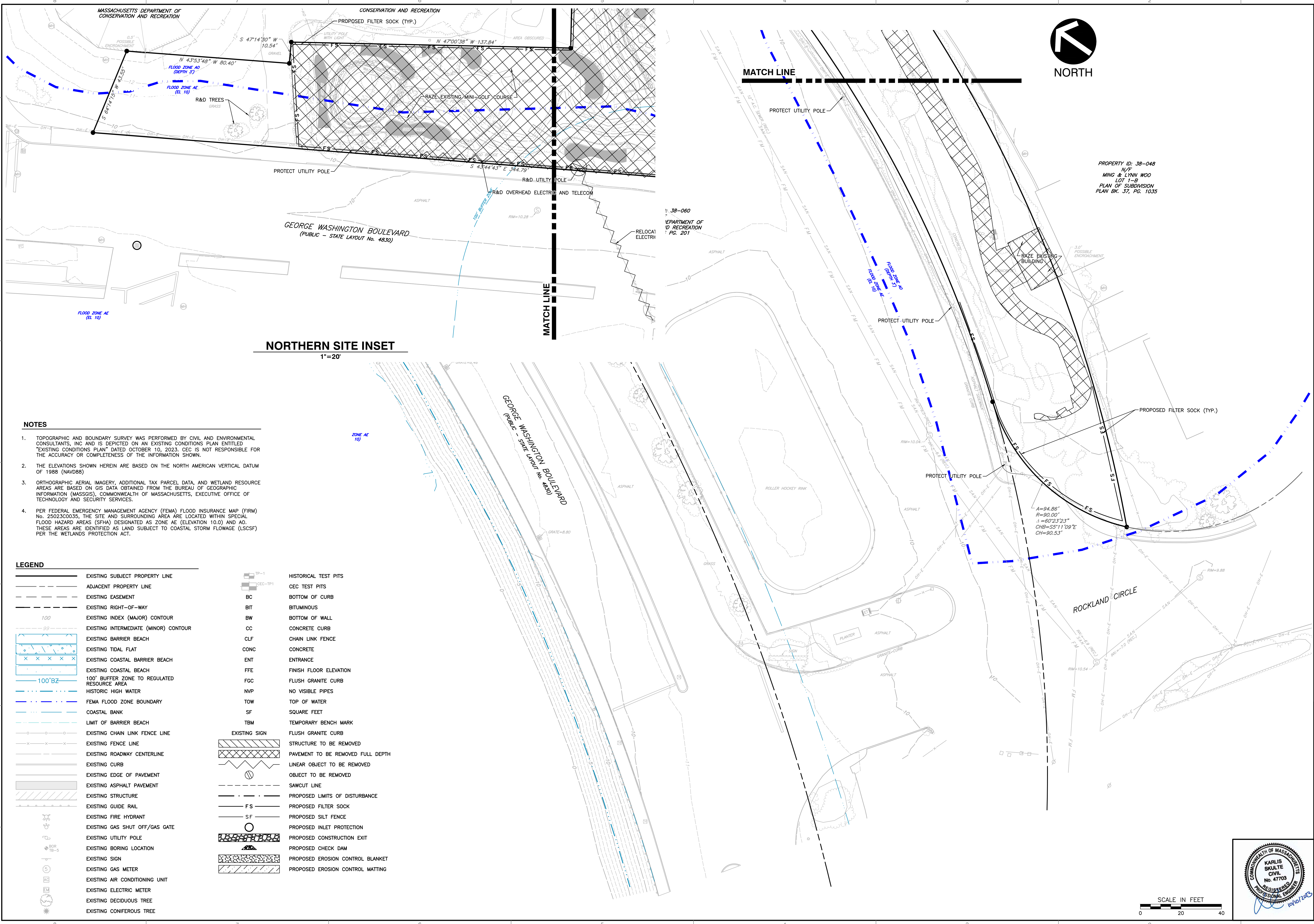
PARAGON DUNES  
 MIXED-USE REDEVELOPMENT  
 189 & 193 NANTASKET AVENUE &  
 0 GEORGE WASHINGTON BOULEVARD  
 HULL, MASSACHUSETTS

**CEC**  
 Civil & Environmental Consultants, Inc.  
 31 Bellows Road · Raynham, MA 02767  
 Ph: 774.501.2176 · 866.312.2024 · Fax: 774.501.2669  
 www.cecinc.com

**SUBMITTAL & REVISION RECORD**

NO	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION

A:\130-001\134-762-1\000\DWG\10102023\10102023-01-10102023.dwg (10/11/2023 8:32 AM) - LP: 10/11/2023 8:32 AM



PROPERTY ID: 38-048  
 N/F  
 MING & LYNN WOO  
 LOT 1-B  
 PLAN OF SUBDIVISION  
 PLAN BK. 37, PG. 1035

**NORTHERN SITE INSET**  
 1"=20'

- NOTES**
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LEGEND	
	EXISTING SUBJECT PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT
	EXISTING RIGHT-OF-WAY
	EXISTING INDEX (MAJOR) CONTOUR
	EXISTING INTERMEDIATE (MINOR) CONTOUR
	EXISTING BARRIER BEACH
	EXISTING TIDAL FLAT
	EXISTING COASTAL BARRIER BEACH
	EXISTING COASTAL BEACH
	100' BUFFER ZONE TO REGULATED RESOURCE AREA
	HISTORIC HIGH WATER
	FEMA FLOOD ZONE BOUNDARY
	COASTAL BANK
	LIMIT OF BARRIER BEACH
	EXISTING CHAIN LINK FENCE LINE
	EXISTING FENCE LINE
	EXISTING ROADWAY CENTERLINE
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING ASPHALT PAVEMENT
	EXISTING STRUCTURE
	EXISTING GUIDE RAIL
	EXISTING FIRE HYDRANT
	EXISTING GAS SHUT OFF/GAS GATE
	EXISTING UTILITY POLE
	EXISTING BORING LOCATION
	EXISTING SIGN
	EXISTING GAS METER
	EXISTING AIR CONDITIONING UNIT
	EXISTING ELECTRIC METER
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	HISTORICAL TEST PITS
	CEC TEST PITS
	BOTTOM OF CURB
	BITUMINOUS
	BOTTOM OF WALL
	CONCRETE CURB
	CHAIN LINK FENCE
	CONCRETE
	ENTRANCE
	FINISH FLOOR ELEVATION
	FLUSH GRANITE CURB
	NO VISIBLE PIPES
	TOP OF WATER
	SQUARE FEET
	TEMPORARY BENCH MARK
	EXISTING SIGN
	STRUCTURE TO BE REMOVED
	PAVEMENT TO BE REMOVED FULL DEPTH
	LINEAR OBJECT TO BE REMOVED
	OBJECT TO BE REMOVED
	SAWCUT LINE
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED FILTER SOCK
	PROPOSED SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED CONSTRUCTION EXIT
	PROPOSED CHECK DAM
	PROPOSED EROSION CONTROL BLANKET
	PROPOSED EROSION CONTROL MATTING

**SUBMITTAL & REVISION RECORD**

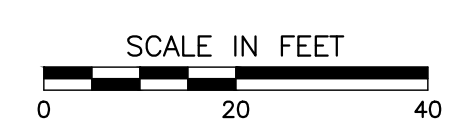
NO.	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION

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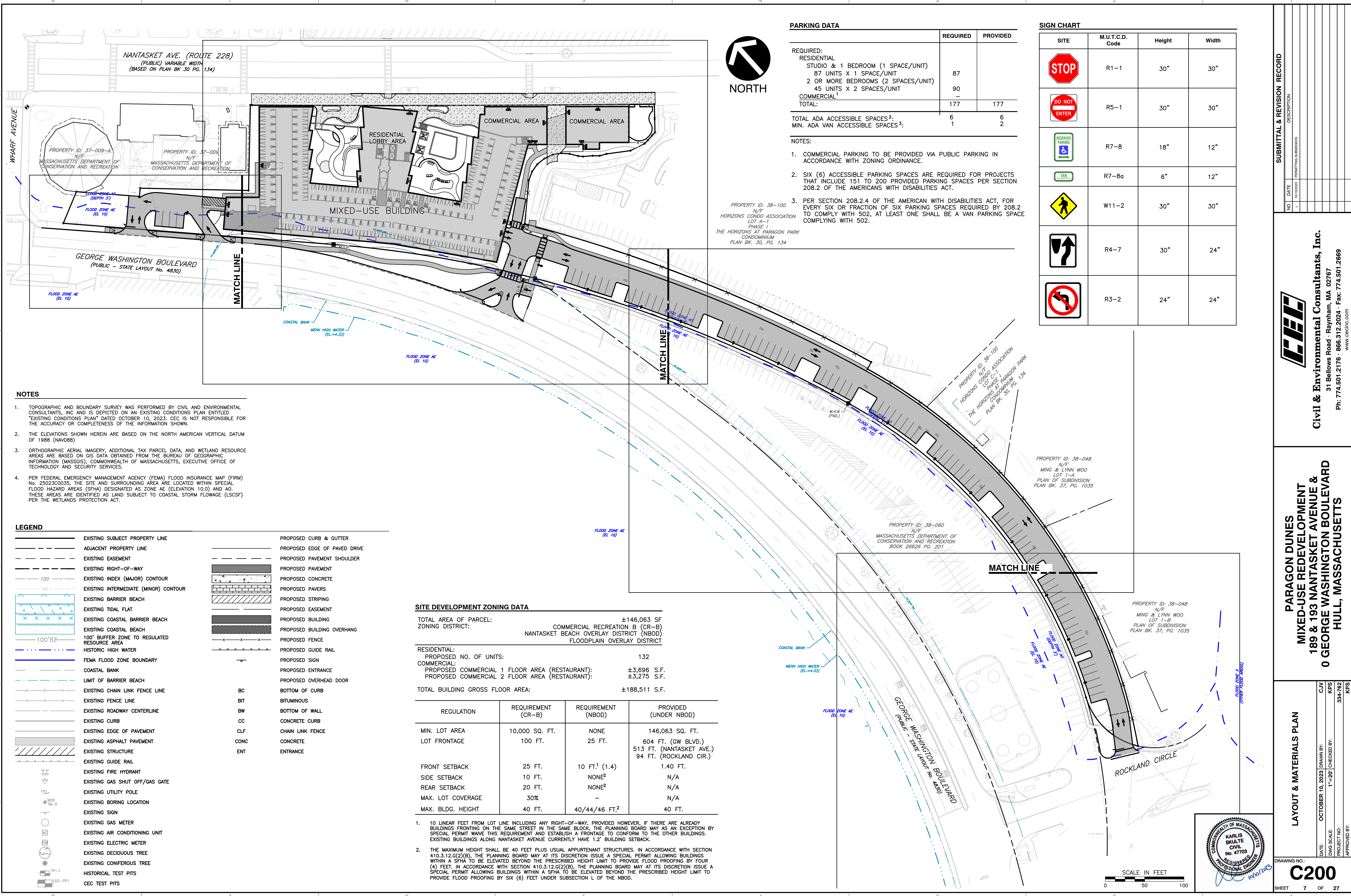
**PARAGON DUNES  
 MIXED-USE REDEVELOPMENT  
 189 & 193 NANTASKET AVENUE &  
 0 GEORGE WASHINGTON BOULEVARD  
 HULL, MASSACHUSETTS**

**DEMOLITION & EROSION CONTROL PLAN**

DATE: OCTOBER 10, 2023	DRAWN BY: CJV
DWG SCALE: 1"=20'	KPS
PROJECT NO: 334-762	KPS
APPROVED BY:	KPS



A:\300-0001\334-762-1\000\DWG\001\334762-001-1\000.mxd [10/10/2023 8:52 AM] - LP: 10/11/2023 8:52 AM



**PARKING DATA**

	REQUIRED	PROVIDED
REQUIRED: RESIDENTIAL		
STUDIO & 1 BEDROOM (1 SPACE/UNIT)		
87 UNITS X 1 SPACE/UNIT	87	
2 OR MORE BEDROOMS (2 SPACES/UNIT)	90	
45 UNITS X 2 SPACES/UNIT	-	
COMMERCIAL <sup>1</sup>		
TOTAL:	177	177
TOTAL ADA ACCESSIBLE SPACES <sup>2</sup> :	6	6
MIN. ADA VAN ACCESSIBLE SPACES <sup>3</sup> :	1	2

**SIGN CHART**

SITE	M.U.T.C.D. Code	Height	Width
	R1-1	30"	30"
	R5-1	30"	30"
	R7-8	18"	12"
	R7-8a	6"	12"
	W11-2	30"	30"
	R4-7	30"	24"
	R3-2	24"	24"

- NOTES:**
1. COMMERCIAL PARKING TO BE PROVIDED VIA PUBLIC PARKING IN ACCORDANCE WITH ZONING ORDINANCE.
  2. SIX (6) ACCESSIBLE PARKING SPACES ARE REQUIRED FOR PROJECTS THAT INCLUDE 151 TO 200 PROVIDED PARKING SPACES PER SECTION 208.2 OF THE AMERICANS WITH DISABILITIES ACT.
  3. PER SECTION 208.2.4 OF THE AMERICAN WITH DISABILITIES ACT, FOR EVERY SIX OR FRACTION OF SIX PARKING SPACES REQUIRED BY 208.2 TO COMPLY WITH 502, AT LEAST ONE SHALL BE A VAN PARKING SPACE COMPLYING WITH 502.

- NOTES**
1. TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY CIVIL AND ENVIRONMENTAL CONSULTANTS, INC AND IS DEPICTED ON AN EXISTING CONDITIONS PLAN ENTITLED "EXISTING CONDITIONS PLAN" DATED OCTOBER 10, 2023. CEC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
  2. THE ELEVATIONS SHOWN HEREIN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
  3. ORTHOGRAPHIC AERIAL IMAGERY, ADDITIONAL TAX PARCEL DATA, AND WETLAND RESOURCE AREAS ARE BASED ON GIS DATA OBTAINED FROM THE BUREAU OF GEOGRAPHIC INFORMATION (MASSGIS), COMMONWEALTH OF MASSACHUSETTS, EXECUTIVE OFFICE OF TECHNOLOGY AND SECURITY SERVICES.
  4. PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE MAP (FIRM) No. 25023C0035, THE SITE AND SURROUNDING AREA ARE LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS (SFHA) DESIGNATED AS ZONE AE (ELEVATION 10.0) AND AO. THESE AREAS ARE IDENTIFIED AS LAND SUBJECT TO COASTAL STORM FLOWAGE (LSCSF) PER THE WETLANDS PROTECTION ACT.

**LEGEND**

	EXISTING SUBJECT PROPERTY LINE		PROPOSED CURB & GUTTER
	ADJACENT PROPERTY LINE		PROPOSED EDGE OF PAVED DRIVE
	EXISTING EASEMENT		PROPOSED PAVEMENT SHOULDER
	EXISTING RIGHT-OF-WAY		PROPOSED PAVEMENT
	EXISTING INDEX (MAJOR) CONTOUR		PROPOSED CONCRETE
	EXISTING INTERMEDIATE (MINOR) CONTOUR		PROPOSED PAVERS
	EXISTING BARRIER BEACH		PROPOSED STRIPING
	EXISTING TIDAL FLAT		PROPOSED EASEMENT
	EXISTING COASTAL BARRIER BEACH		PROPOSED BUILDING
	EXISTING COASTAL BEACH		PROPOSED BUILDING OVERHANG
	100' BUFFER ZONE TO REGULATED RESOURCE AREA		PROPOSED FENCE
	HISTORIC HIGH WATER		PROPOSED GUIDE RAIL
	FEMA FLOOD ZONE BOUNDARY		PROPOSED SIGN
	COASTAL BANK		PROPOSED ENTRANCE
	LIMIT OF BARRIER BEACH		PROPOSED OVERHEAD DOOR
	EXISTING CHAIN LINK FENCE LINE		BC BOTTOM OF CURB
	EXISTING FENCE LINE		BIT BITUMINOUS
	EXISTING ROADWAY CENTERLINE		BW BOTTOM OF WALL
	EXISTING CURB		CC CONCRETE CURB
	EXISTING EDGE OF PAVEMENT		CLF CHAIN LINK FENCE
	EXISTING ASPHALT PAVEMENT		CNC CONCRETE
	EXISTING STRUCTURE		ENT ENTRANCE
	EXISTING GUIDE RAIL		
	EXISTING FIRE HYDRANT		
	EXISTING GAS SHUT OFF/GAS GATE		
	EXISTING UTILITY POLE		
	EXISTING BORING LOCATION		
	EXISTING SIGN		
	EXISTING GAS METER		
	EXISTING AIR CONDITIONING UNIT		
	EXISTING ELECTRIC METER		
	EXISTING DECIDUOUS TREE		
	EXISTING CONIFEROUS TREE		
	HISTORICAL TEST PITS		
	CEC TEST PITS		

**SITE DEVELOPMENT ZONING DATA**

TOTAL AREA OF PARCEL: ±146,063 SF  
 ZONING DISTRICT: COMMERCIAL RECREATION B (CR-B)  
 NANTASKET BEACH OVERLAY DISTRICT (NBOD)  
 FLOODPLAIN OVERLAY DISTRICT

RESIDENTIAL:  
 PROPOSED NO. OF UNITS: 132

COMMERCIAL:  
 PROPOSED COMMERCIAL 1 FLOOR AREA (RESTAURANT): ±3,696 S.F.  
 PROPOSED COMMERCIAL 2 FLOOR AREA (RESTAURANT): ±3,275 S.F.

TOTAL BUILDING GROSS FLOOR AREA: ±188,511 S.F.

REGULATION	REQUIREMENT (CR-B)	REQUIREMENT (NBOD)	PROVIDED (UNDER NBOD)
MIN. LOT AREA	10,000 SQ. FT.	NONE	146,063 SQ. FT.
LOT FRONTAGE	100 FT.	25 FT.	604 FT. (GW BLVD.) 513 FT. (NANTASKET AVE.) 94 FT. (ROCKLAND CIR.)
FRONT SETBACK	25 FT.	10 FT. <sup>1</sup> (1.4)	1.40 FT.
SIDE SETBACK	10 FT.	NONE <sup>2</sup>	N/A
REAR SETBACK	20 FT.	NONE <sup>2</sup>	N/A
MAX. LOT COVERAGE	30%	-	N/A
MAX. BLDG. HEIGHT	40 FT.	40/44/46 FT. <sup>2</sup>	40 FT.

1. 10 LINEAR FEET FROM LOT LINE INCLUDING ANY RIGHT-OF-WAY, PROVIDED HOWEVER, IF THERE ARE ALREADY BUILDINGS FRONTING ON THE SAME STREET IN THE SAME BLOCK, THE PLANNING BOARD MAY AS AN EXCEPTION BY SPECIAL PERMIT WAIVE THIS REQUIREMENT AND ESTABLISH A FRONTAGE TO CONFORM TO THE OTHER BUILDINGS. EXISTING BUILDINGS ALONG NANTASKET AVENUE CURRENTLY HAVE 1.2' BUILDING SETBACK.
2. THE MAXIMUM HEIGHT SHALL BE 40 FEET PLUS USUAL APPURTENANT STRUCTURES. IN ACCORDANCE WITH SECTION 410.3.12.G(2)(B), THE PLANNING BOARD MAY AT ITS DISCRETION ISSUE A SPECIAL PERMIT ALLOWING BUILDINGS WITHIN A SFHA TO BE ELEVATED BEYOND THE PRESCRIBED HEIGHT LIMIT TO PROVIDE FLOOD PROOFING BY FOUR (4) FEET. IN ACCORDANCE WITH SECTION 410.3.12.G(2)(B), THE PLANNING BOARD MAY AT ITS DISCRETION ISSUE A SPECIAL PERMIT ALLOWING BUILDINGS WITHIN A SFHA TO BE ELEVATED BEYOND THE PRESCRIBED HEIGHT LIMIT TO PROVIDE FLOOD PROOFING BY SIX (6) FEET UNDER SUBSECTION L OF THE NBOD.

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**PARAGON DUNES MIXED-USE REDEVELOPMENT**  
 189 & 193 NANTASKET AVENUE &  
 0 GEORGE WASHINGTON BOULEVARD  
 HULL, MASSACHUSETTS

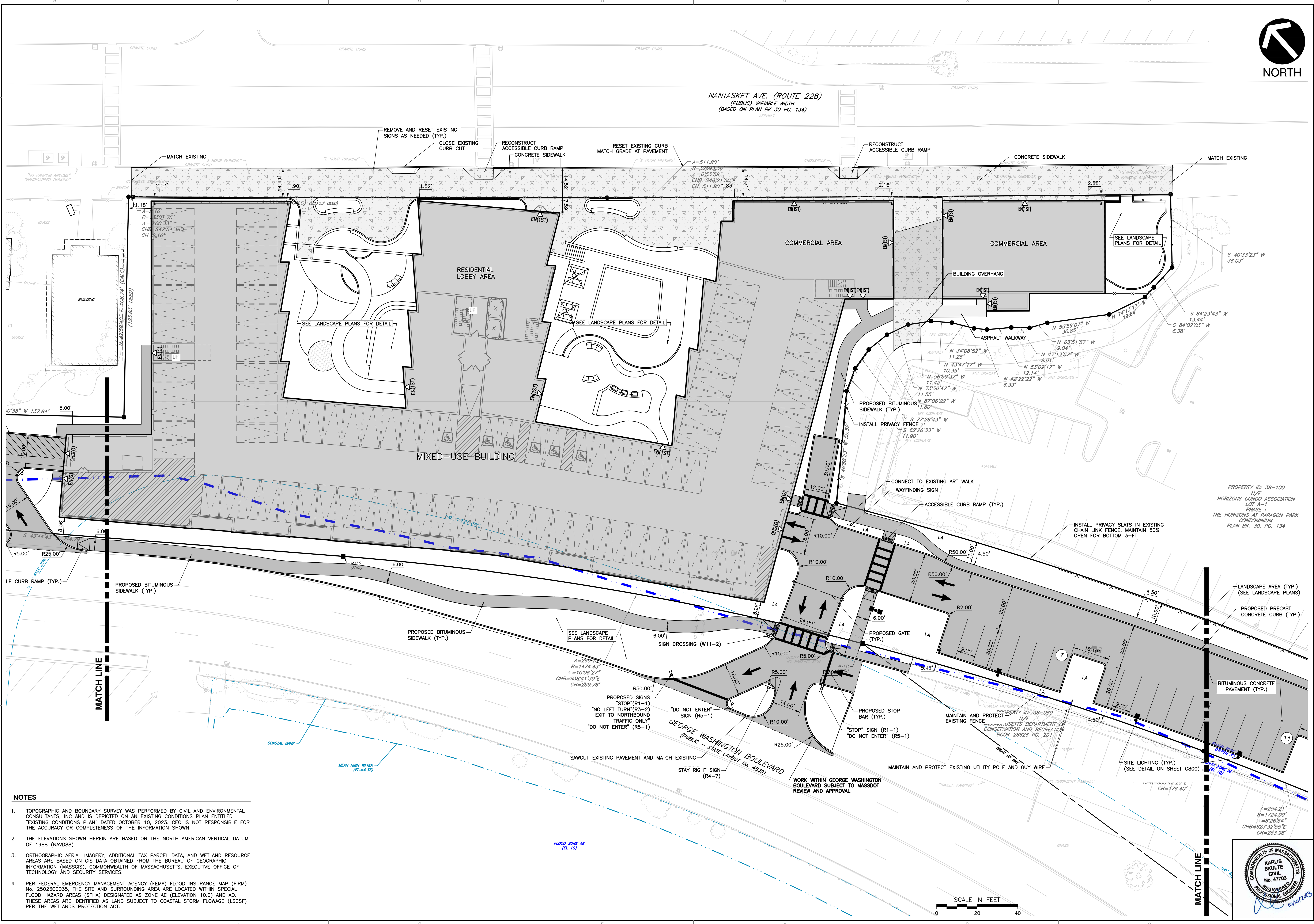
**LAYOUT & MATERIALS PLAN**

DATE: OCTOBER 10, 2023 | DRAWN BY: CJW | KPS  
 DWG SCALE: 1"=20' | CHECKED BY: 334-762 | KPS  
 APPROVED BY: KPS

DRAWING NO.: **C200**  
 SHEET 7 OF 27



NANTASKET AVE. (ROUTE 228)  
(PUBLIC) VARIABLE WIDTH  
(BASED ON PLAN BK 30 PG. 134)



NO.	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION

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**PARAGON DUNES  
 MIXED-USE REDEVELOPMENT  
 189 & 193 NANTASKET AVENUE &  
 0 GEORGE WASHINGTON BOULEVARD  
 HULL, MASSACHUSETTS**

DATE	SCALE	DRAWN BY	CHECKED BY	APPROVED BY
OCTOBER 10, 2023	1"=20'	CJV	KPS	KPS

PROPERTY ID: 38-100  
 N/F  
 HORIZONS CONDO ASSOCIATION  
 LOT A-1  
 PHASE 1  
 THE HORIZONS AT PARAGON PARK  
 CONDOMINIUM  
 PLAN BK. 30, PG. 134

LANDSCAPE AREA (TYP.)  
 (SEE LANDSCAPE PLANS)  
 PROPOSED PRECAST  
 CONCRETE CURB (TYP.)

BITUMINOUS CONCRETE  
 PAVEMENT (TYP.)

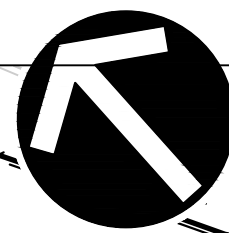


SCALE IN FEET  
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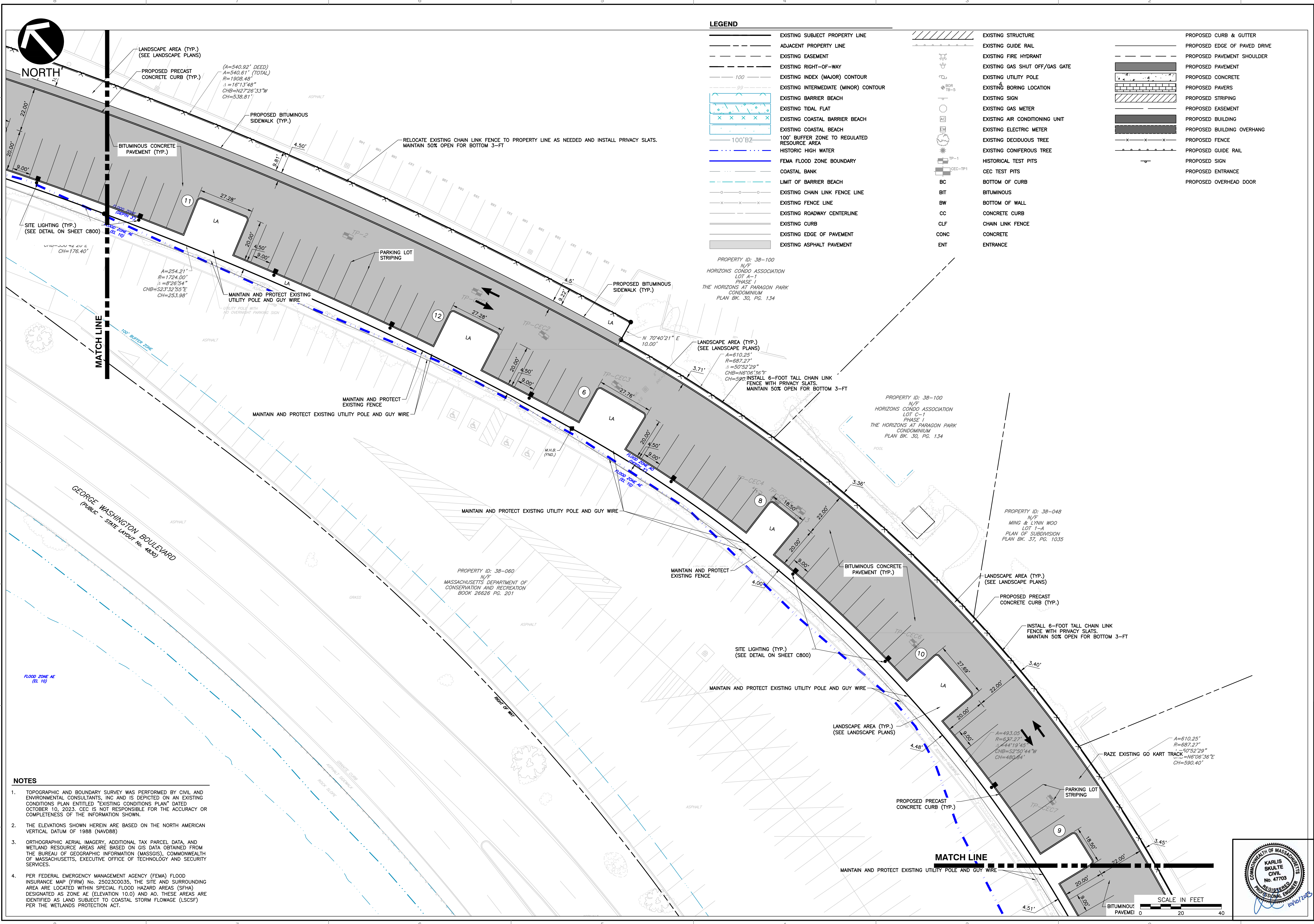
- NOTES**
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A:\300-0001\300-0001\DWG\001\134762-001-0203.dwg(2/20) 15/10/1/2023 8:53 AM - LP: 10/1/2023 8:53 AM





NORTH



LEGEND

	EXISTING SUBJECT PROPERTY LINE		EXISTING STRUCTURE		PROPOSED CURB & GUTTER
	ADJACENT PROPERTY LINE		EXISTING GUIDE RAIL		PROPOSED EDGE OF PAVED DRIVE
	EXISTING EASEMENT		EXISTING FIRE HYDRANT		PROPOSED PAVEMENT SHOULDER
	EXISTING RIGHT-OF-WAY		EXISTING GAS SHUT OFF/GAS GATE		PROPOSED PAVEMENT
	EXISTING INDEX (MAJOR) CONTOUR		EXISTING UTILITY POLE		PROPOSED CONCRETE
	EXISTING INTERMEDIATE (MINOR) CONTOUR		EXISTING BORING LOCATION		PROPOSED PAVERS
	EXISTING BARRIER BEACH		EXISTING SIGN		PROPOSED STRIPING
	EXISTING TIDAL FLAT		EXISTING GAS METER		PROPOSED EASEMENT
	EXISTING COASTAL BARRIER BEACH		EXISTING AIR CONDITIONING UNIT		PROPOSED BUILDING
	EXISTING COASTAL BEACH		EXISTING ELECTRIC METER		PROPOSED BUILDING OVERHANG
	RESOURCE AREA		EXISTING DECIDUOUS TREE		PROPOSED FENCE
	HISTORIC HIGH WATER		EXISTING CONIFEROUS TREE		PROPOSED GUIDE RAIL
	FEMA FLOOD ZONE BOUNDARY		HISTORICAL TEST PITS		PROPOSED SIGN
	COASTAL BANK		CEC TEST PITS		PROPOSED ENTRANCE
	LIMIT OF BARRIER BEACH		BC		PROPOSED OVERHEAD DOOR
	EXISTING CHAIN LINK FENCE LINE		BIT		
	EXISTING FENCE LINE		BW		
	EXISTING ROADWAY CENTERLINE		CC		
	EXISTING CURB		CLF		
	EXISTING EDGE OF PAVEMENT		CONC		
	EXISTING ASPHALT PAVEMENT		ENT		

PROPERTY ID: 38-100  
 N/F  
 HORIZONS CONDO ASSOCIATION  
 LOT A-1  
 PHASE 1  
 THE HORIZONS AT PARAGON PARK  
 CONDOMINIUM  
 PLAN BK. 30, PG. 134

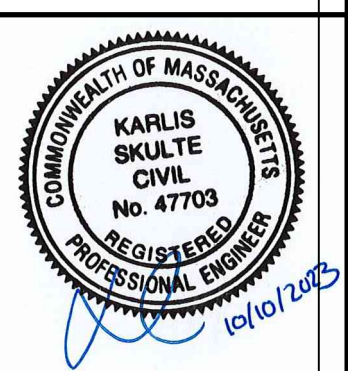
LANDSCAPE AREA (TYP.)  
 (SEE LANDSCAPE PLANS)  
 $A=610.25'$   
 $R=687.27'$   
 $\Delta=50'52'29''$   
 $CHB=N6'06'36''E$   
 $CH=590.40'$   
 INSTALL 6-FOOT TALL CHAIN LINK FENCE WITH PRIVACY SLATS. MAINTAIN 50% OPEN FOR BOTTOM 3-FT

PROPERTY ID: 38-100  
 N/F  
 HORIZONS CONDO ASSOCIATION  
 LOT C-1  
 PHASE 1  
 THE HORIZONS AT PARAGON PARK  
 CONDOMINIUM  
 PLAN BK. 30, PG. 134

PROPERTY ID: 38-048  
 N/F  
 MING & LYNN WOO  
 LOT 1-A  
 PLAN OF SUBDIVISION  
 PLAN BK. 37, PG. 1035

PROPERTY ID: 38-060  
 N/F  
 MASSACHUSETTS DEPARTMENT OF  
 CONSERVATION AND RECREATION  
 BOOK 26626 PG. 201

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**SUBMITTAL & REVISION RECORD**

NO.	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION

**C&E**  
**Civil & Environmental Consultants, Inc.**  
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**PARAGON DUNES  
 MIXED-USE REDEVELOPMENT  
 189 & 193 NANTASKET AVENUE &  
 0 GEORGE WASHINGTON BOULEVARD  
 HULL, MASSACHUSETTS**

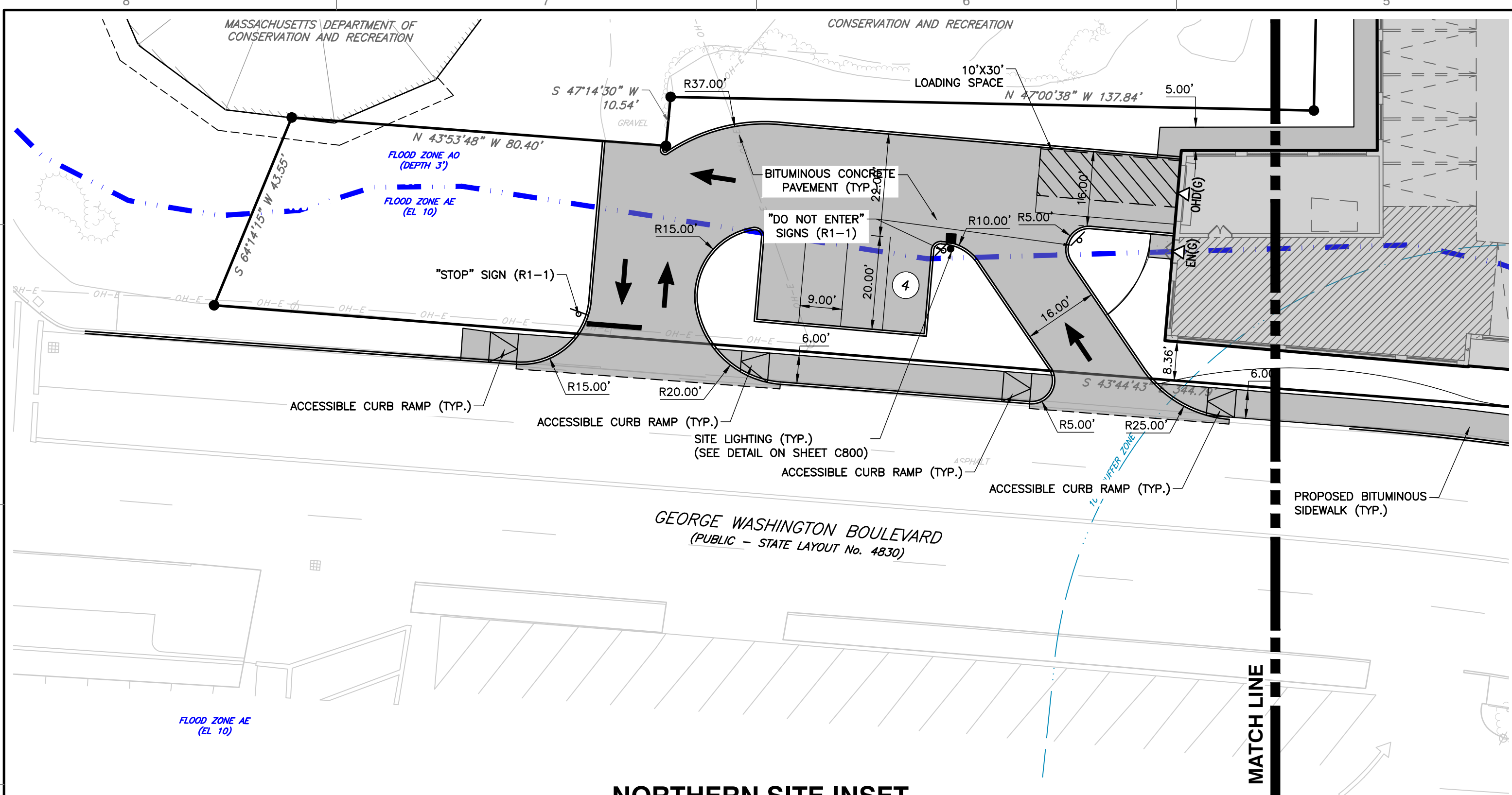
**LAYOUT & MATERIALS PLAN**

DRAWING NO: **C202**

SHEET 9 OF 27

DATE: OCTOBER 10, 2023 | DRAWN BY: CJV | KPS  
 DWG SCALE: 1"=20' | CHECKED BY: 334-762 | KPS  
 APPROVED BY: KPS

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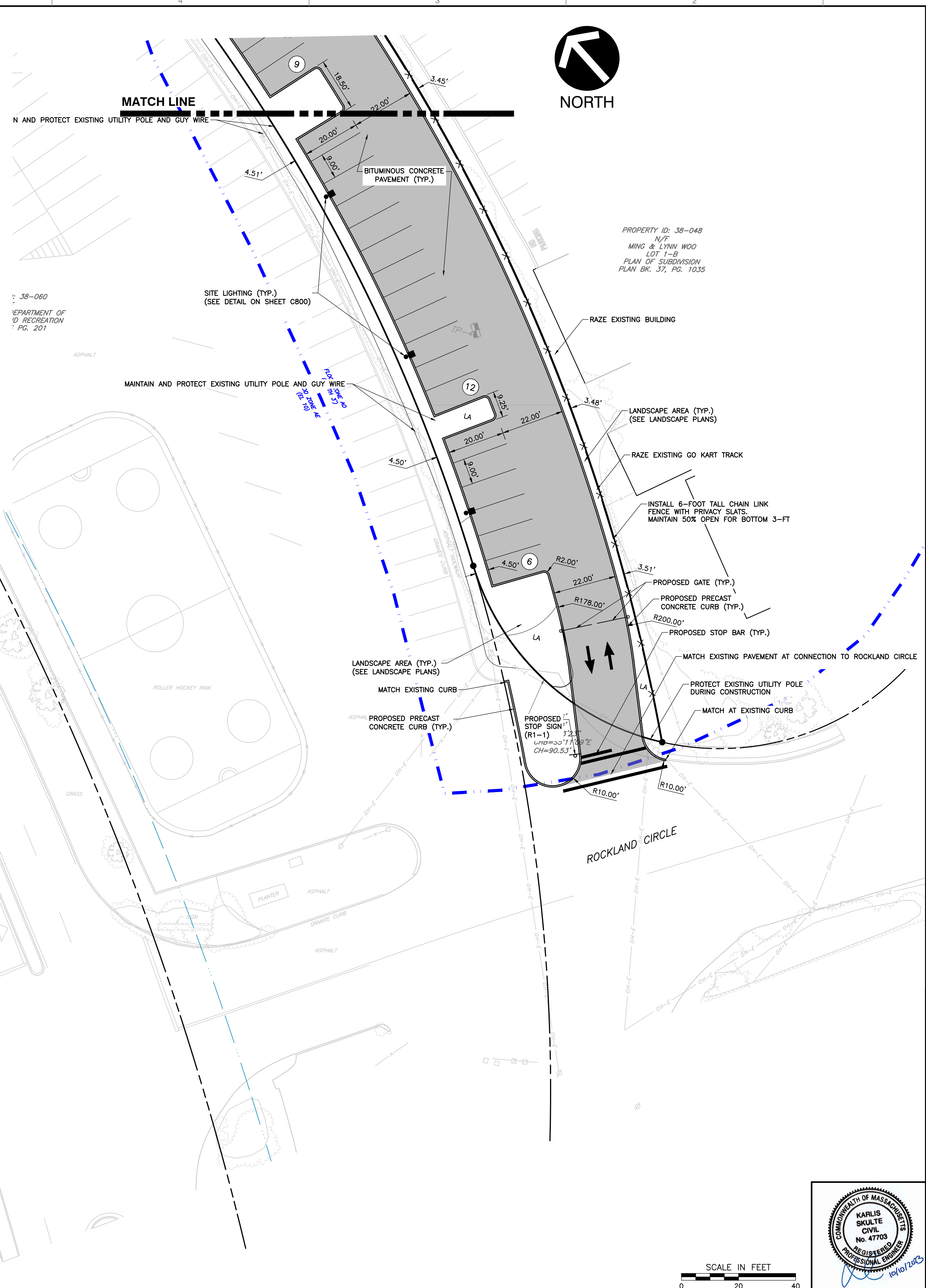


**NORTHERN SITE INSET**  
1"=20'

- NOTES**
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**LEGEND**

	EXISTING SUBJECT PROPERTY LINE		HISTORICAL TEST PITS
	ADJACENT PROPERTY LINE		CEC TEST PITS
	EXISTING EASEMENT		BOTTOM OF CURB
	EXISTING RIGHT-OF-WAY		BITUMINOUS
	EXISTING INDEX (MAJOR) CONTOUR		BOTTOM OF WALL
	EXISTING INTERMEDIATE (MINOR) CONTOUR		CONCRETE CURB
	EXISTING BARRIER BEACH		CHAIN LINK FENCE
	EXISTING TIDAL FLAT		CONCRETE
	EXISTING COASTAL BARRIER BEACH		ENTRANCE
	EXISTING COASTAL BEACH		PROPOSED CURB & GUTTER
	100' BUFFER ZONE TO REGULATED RESOURCE AREA		PROPOSED EDGE OF PAVED DRIVE
	HISTORIC HIGH WATER		PROPOSED PAVEMENT SHOULDER
	FEMA FLOOD ZONE BOUNDARY		PROPOSED PAVEMENT
	COASTAL BANK		PROPOSED CONCRETE
	LIMIT OF BARRIER BEACH		PROPOSED PAVERS
	EXISTING CHAIN LINK FENCE LINE		PROPOSED STRIPING
	EXISTING FENCE LINE		PROPOSED EASEMENT
	EXISTING ROADWAY CENTERLINE		PROPOSED BUILDING
	EXISTING CURB		PROPOSED BUILDING OVERHANG
	EXISTING EDGE OF PAVEMENT		PROPOSED FENCE
	EXISTING ASPHALT PAVEMENT		PROPOSED GUIDE RAIL
	EXISTING STRUCTURE		PROPOSED SIGN
	EXISTING GUIDE RAIL		PROPOSED ENTRANCE
	EXISTING FIRE HYDRANT		PROPOSED OVERHEAD DOOR
	EXISTING GAS SHUT OFF/GAS GATE		
	EXISTING UTILITY POLE		
	EXISTING BORING LOCATION		
	EXISTING SIGN		
	EXISTING GAS METER		
	EXISTING AIR CONDITIONING UNIT		
	EXISTING ELECTRIC METER		
	EXISTING DECIDUOUS TREE		
	EXISTING CONIFEROUS TREE		



SCALE IN FEET  
0 20 40

**SUBMITTAL & REVISION RECORD**

NO.	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION

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**PARAGON DUNES MIXED-USE REDEVELOPMENT**  
189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD  
HULL, MASSACHUSETTS

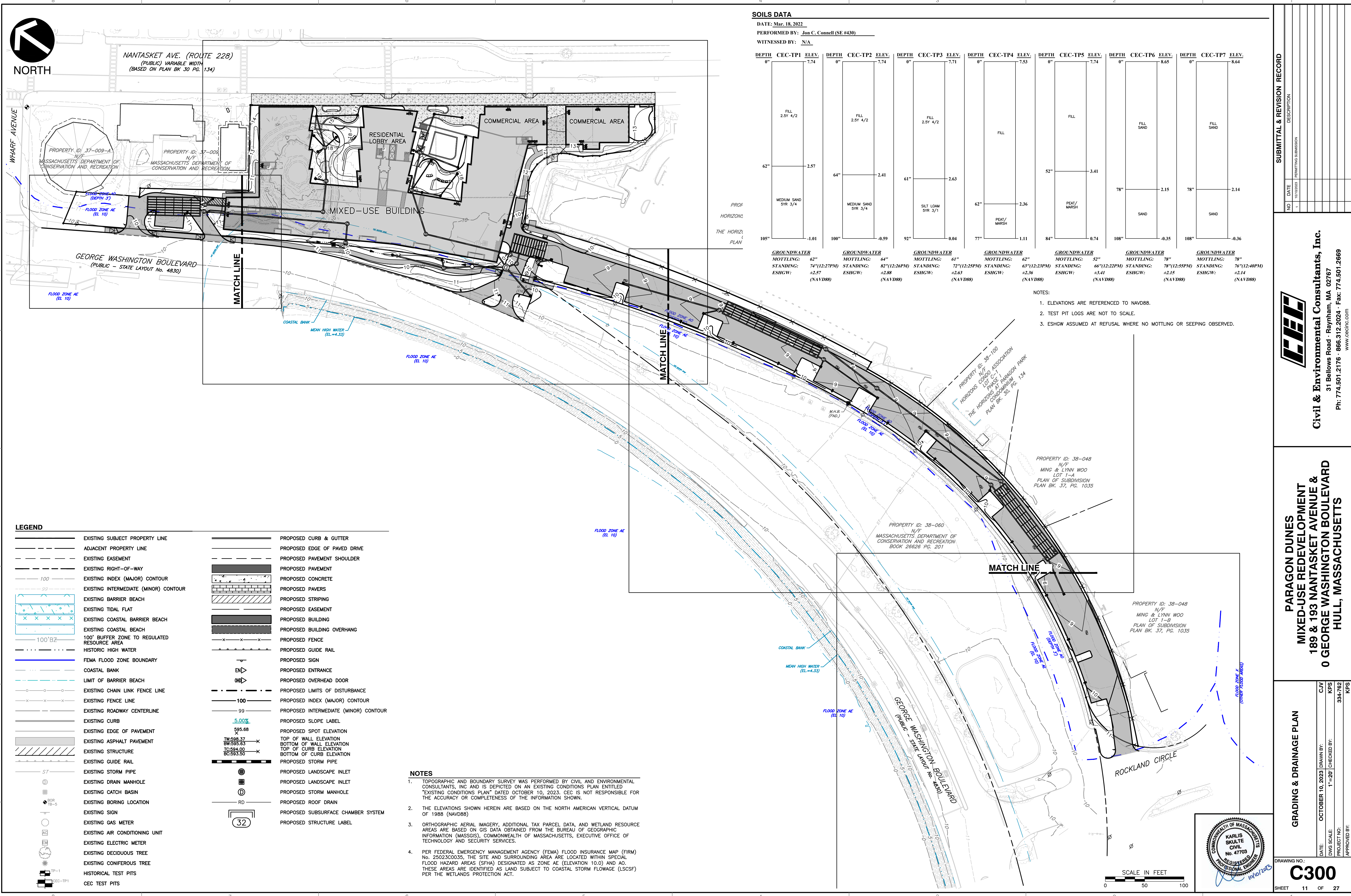
**LAYOUT & MATERIALS PLAN**

DRAWING NO. **C203**  
SHEET 10 OF 27

DATE: OCTOBER 10, 2023	DRAWN BY: CJV
DWG SCALE: 1"=20'	KPS
PROJECT NO: 334-762	334-762
APPROVED BY: KPS	KPS



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**SOILS DATA**  
 DATE: Mar. 18, 2022  
 PERFORMED BY: Jon C. Connell (SE #430)  
 WITNESSED BY: N/A

DEPTH	CEC-TP1	ELEV.	DEPTH	CEC-TP2	ELEV.	DEPTH	CEC-TP3	ELEV.	DEPTH	CEC-TP4	ELEV.	DEPTH	CEC-TP5	ELEV.	DEPTH	CEC-TP6	ELEV.	DEPTH	CEC-TP7	ELEV.
0"		7.74	0"		7.74	0"		7.71	0"		7.53	0"		7.74	0"		8.65	0"		8.64
62"		2.57	64"		2.41	61"		2.63	52"		3.41	78"		2.15	78"		2.14			
105"		-1.01	100"		-0.59	92"		0.04	77"		1.11	84"		0.74	108"		-0.35	108"		-0.36
<b>GROUNDWATER</b>			<b>GROUNDWATER</b>			<b>GROUNDWATER</b>			<b>GROUNDWATER</b>			<b>GROUNDWATER</b>			<b>GROUNDWATER</b>			<b>GROUNDWATER</b>		
MOTTLING: 62"			MOTTLING: 64"			MOTTLING: 61"			MOTTLING: 62"			MOTTLING: 52"			MOTTLING: 78"			MOTTLING: 78"		
STANDING: 74"(12:27PM)			STANDING: 82"(12:26PM)			STANDING: 72"(12:25PM)			STANDING: 63"(12:23PM)			STANDING: 66"(12:22PM)			STANDING: 78"(12:55PM)			STANDING: 76"(12:40PM)		
ESHGW: ±2.57			ESHGW: ±2.88			ESHGW: ±2.63			ESHGW: ±2.36			ESHGW: ±3.41			ESHGW: ±2.15			ESHGW: ±2.14		
(NAVD88)			(NAVD88)			(NAVD88)			(NAVD88)			(NAVD88)			(NAVD88)			(NAVD88)		

- NOTES:**
- ELEVATIONS ARE REFERENCED TO NAVD88.
  - TEST PIT LOGS ARE NOT TO SCALE.
  - ESHGW ASSUMED AT REFUSAL WHERE NO MOTTLING OR SEEPING OBSERVED.

**LEGEND**

	EXISTING SUBJECT PROPERTY LINE		PROPOSED CURB & GUTTER
	ADJACENT PROPERTY LINE		PROPOSED EDGE OF PAVED DRIVE
	EXISTING EASEMENT		PROPOSED PAVEMENT SHOULDER
	EXISTING RIGHT-OF-WAY		PROPOSED PAVEMENT
	EXISTING INDEX (MAJOR) CONTOUR		PROPOSED CONCRETE
	EXISTING INTERMEDIATE (MINOR) CONTOUR		PROPOSED PAVERS
	EXISTING BARRIER BEACH		PROPOSED STRIPING
	EXISTING TIDAL FLAT		PROPOSED EASEMENT
	EXISTING COASTAL BARRIER BEACH		PROPOSED BUILDING
	EXISTING COASTAL BEACH		PROPOSED BUILDING OVERHANG
	100' BUFFER ZONE TO REGULATED RESOURCE AREA		PROPOSED FENCE
	HISTORIC HIGH WATER		PROPOSED GUIDE RAIL
	FEMA FLOOD ZONE BOUNDARY		PROPOSED SIGN
	COASTAL BANK		PROPOSED ENTRANCE
	LIMIT OF BARRIER BEACH		PROPOSED OVERHEAD DOOR
	EXISTING CHAIN LINK FENCE LINE		PROPOSED LIMITS OF DISTURBANCE
	EXISTING FENCE LINE		PROPOSED INDEX (MAJOR) CONTOUR
	EXISTING ROADWAY CENTERLINE		PROPOSED INTERMEDIATE (MINOR) CONTOUR
	EXISTING CURB		PROPOSED SLOPE LABEL
	EXISTING EDGE OF PAVEMENT		PROPOSED SPOT ELEVATION
	EXISTING ASPHALT PAVEMENT		TOP OF WALL ELEVATION
	EXISTING STRUCTURE		BOTTOM OF CURB ELEVATION
	EXISTING GUIDE RAIL		BOTTOM OF CURB ELEVATION
	EXISTING STORM PIPE		PROPOSED STORM PIPE
	EXISTING DRAIN MANHOLE		PROPOSED LANDSCAPE INLET
	EXISTING CATCH BASIN		PROPOSED LANDSCAPE INLET
	EXISTING BORING LOCATION		PROPOSED STORM MANHOLE
	EXISTING SIGN		PROPOSED ROOF DRAIN
	EXISTING GAS METER		PROPOSED SUBSURFACE CHAMBER SYSTEM
	EXISTING AIR CONDITIONING UNIT		PROPOSED STRUCTURE LABEL
	EXISTING ELECTRIC METER		
	EXISTING DECIDUOUS TREE		
	EXISTING CONIFEROUS TREE		
	HISTORICAL TEST PITS		
	CEC TEST PITS		

- NOTES**
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**SUBMITTAL & REVISION RECORD**

NO.	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION

**Civil & Environmental Consultants, Inc.**  
 31 Bellows Road · Raynham, MA 02767  
 Ph: 774.501.2176 · 866.312.2024 · Fax: 774.501.2669  
 www.cecinc.com

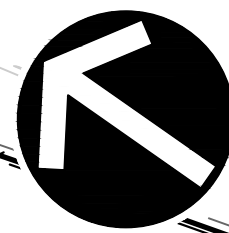
**PARAGON DUNES MIXED-USE REDEVELOPMENT**  
 189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD  
 HULL, MASSACHUSETTS

**GRADING & DRAINAGE PLAN**

DATE: OCTOBER 10, 2023 | DRAWN BY: CJW | KPS  
 DWG SCALE: 1"=20' | CHECKED BY: 334-762 | KPS  
 APPROVED BY: KPS

DRAWING NO. **C300**  
 SHEET 11 OF 27





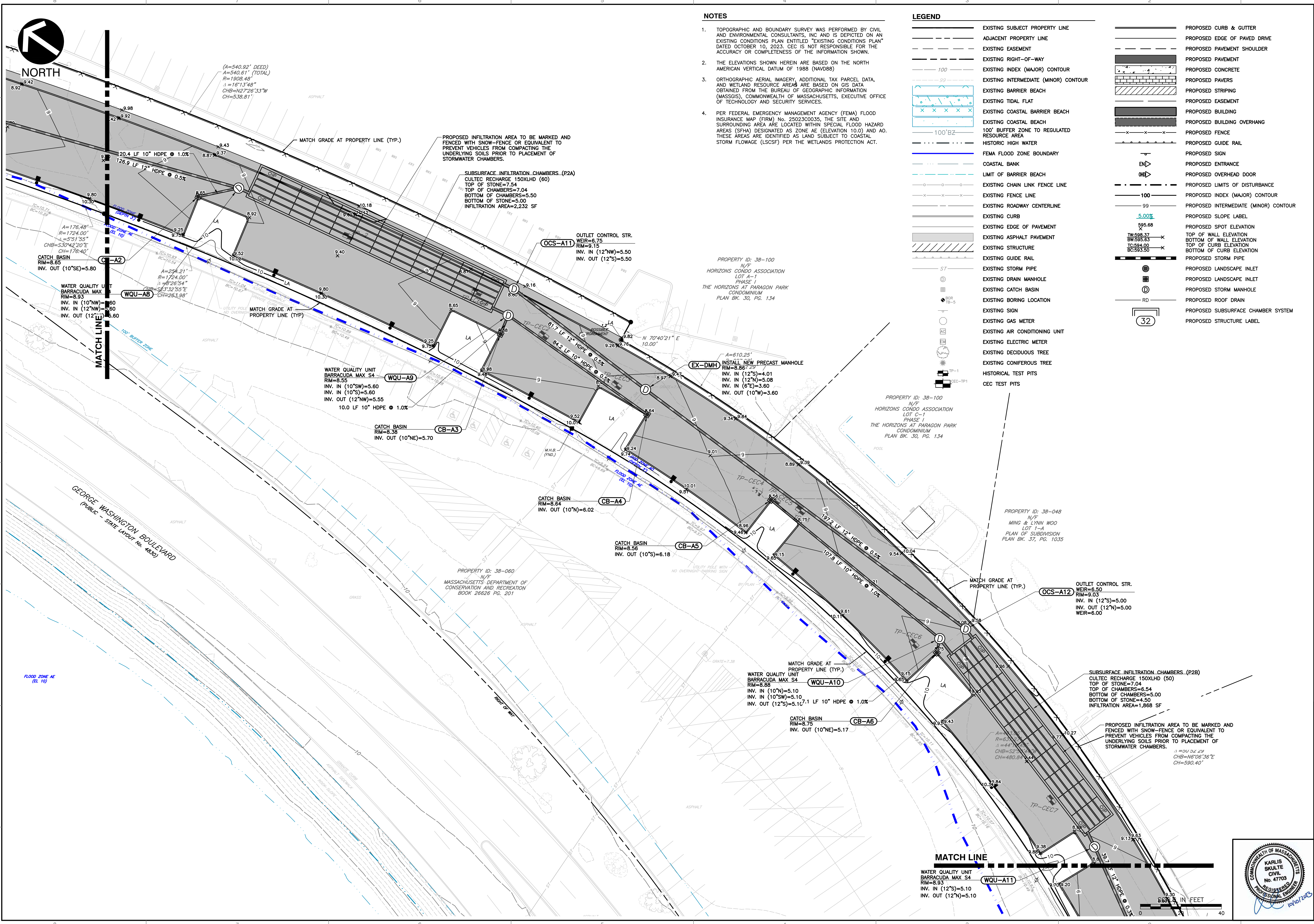
NORTH

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LEGEND

	EXISTING SUBJECT PROPERTY LINE		PROPOSED CURB & GUTTER
	ADJACENT PROPERTY LINE		PROPOSED EDGE OF PAVED DRIVE
	EXISTING EASEMENT		PROPOSED PAVEMENT SHOULDER
	EXISTING RIGHT-OF-WAY		PROPOSED CONCRETE
	EXISTING INDEX (MAJOR) CONTOUR		PROPOSED PAVERS
	EXISTING INTERMEDIATE (MINOR) CONTOUR		PROPOSED STRIPING
	EXISTING BARRIER BEACH		PROPOSED EASEMENT
	EXISTING TIDAL FLAT		PROPOSED BUILDING
	EXISTING COASTAL BARRIER BEACH		PROPOSED BUILDING OVERHANG
	EXISTING COASTAL BEACH		PROPOSED FENCE
	100' BUFFER ZONE TO REGULATED RESOURCE AREA		PROPOSED GUIDE RAIL
	HISTORIC HIGH WATER		PROPOSED SIGN
	FEMA FLOOD ZONE BOUNDARY		PROPOSED ENTRANCE
	COASTAL BANK		PROPOSED OVERHEAD DOOR
	LIMIT OF BARRIER BEACH		PROPOSED LIMITS OF DISTURBANCE
	EXISTING CHAIN LINK FENCE LINE		PROPOSED INDEX (MAJOR) CONTOUR
	EXISTING FENCE LINE		PROPOSED INTERMEDIATE (MINOR) CONTOUR
	EXISTING ROADWAY CENTERLINE		PROPOSED SLOPE LABEL
	EXISTING CURB		PROPOSED SPOT ELEVATION
	EXISTING EDGE OF PAVEMENT		TOP OF WALL ELEVATION
	EXISTING ASPHALT PAVEMENT		BOTTOM OF WALL ELEVATION
	EXISTING STRUCTURE		TOP OF CURB ELEVATION
	EXISTING GUIDE RAIL		BOTTOM OF CURB ELEVATION
	EXISTING STORM PIPE		PROPOSED STORM PIPE
	EXISTING DRAIN MANHOLE		PROPOSED LANDSCAPE INLET
	EXISTING CATCH BASIN		PROPOSED LANDSCAPE INLET
	EXISTING BORING LOCATION		PROPOSED STORM MANHOLE
	EXISTING SIGN		PROPOSED ROOF DRAIN
	EXISTING GAS METER		PROPOSED SUBSURFACE CHAMBER SYSTEM
	EXISTING AIR CONDITIONING UNIT		PROPOSED STRUCTURE LABEL
	EXISTING ELECTRIC METER		
	EXISTING DECIDUOUS TREE		
	EXISTING CONIFEROUS TREE		
	HISTORICAL TEST PITS		
	CEC TEST PITS		



**SUBMITTAL & REVISION RECORD**

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**Civil & Environmental Consultants, Inc.**  
 31 Bellows Road - Raynham, MA 02767  
 Ph: 774.501.2176 - 866.312.2024 - Fax: 774.501.2669  
 www.cecinc.com

**PARAGON DUNES  
 MIXED-USE REDEVELOPMENT  
 189 & 193 NANTASKET AVENUE &  
 0 GEORGE WASHINGTON BOULEVARD  
 HULL, MASSACHUSETTS**

**GRADING & DRAINAGE PLAN**

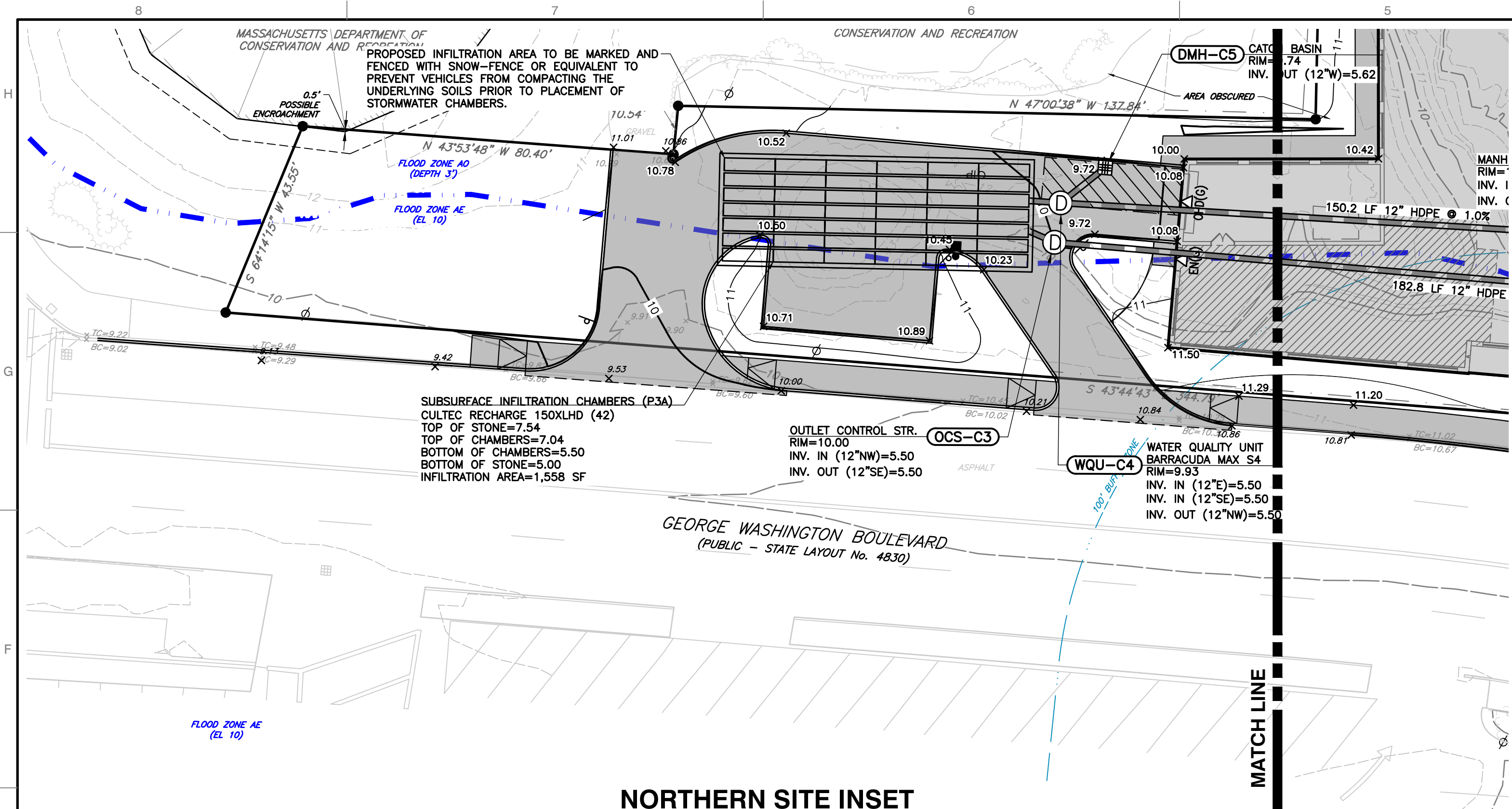
DRAWING NO. **C302**

SHEET 13 OF 27

DATE: OCTOBER 10, 2023  
 DWG SCALE: 1"=20'  
 PROJECT NO: 334-762  
 APPROVED BY: KPS



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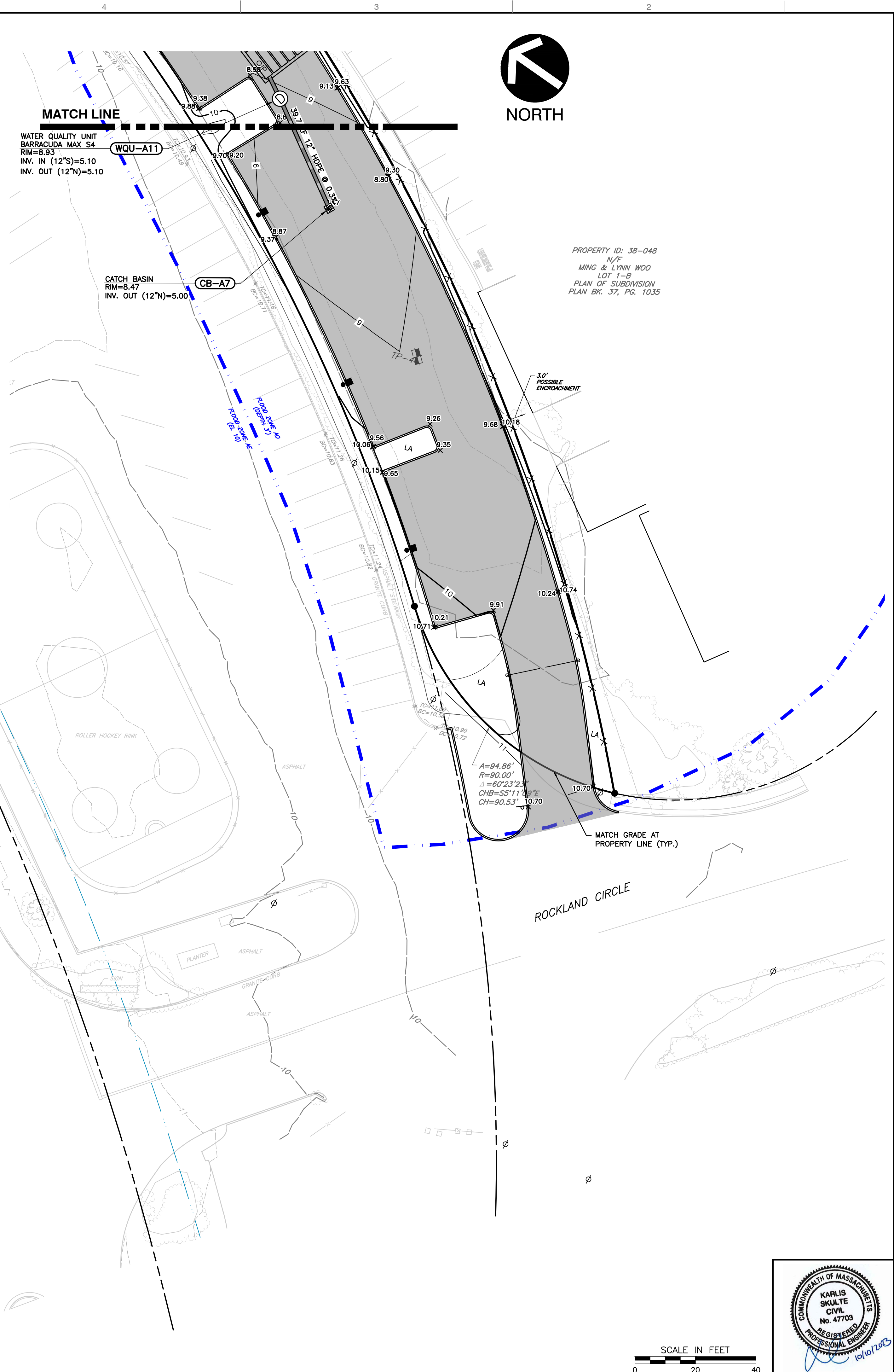
NORTHERN SITE INSET  
1"=20'

NOTES

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LEGEND

	EXISTING SUBJECT PROPERTY LINE		PROPOSED CURB & GUTTER
	ADJACENT PROPERTY LINE		PROPOSED EDGE OF PAVED DRIVE
	EXISTING EASEMENT		PROPOSED PAVEMENT SHOULDER
	EXISTING RIGHT-OF-WAY		PROPOSED PAVEMENT
	EXISTING INDEX (MAJOR) CONTOUR		PROPOSED CONCRETE
	EXISTING INTERMEDIATE (MINOR) CONTOUR		PROPOSED PAVERS
	EXISTING BARRIER BEACH		PROPOSED STRIPING
	EXISTING TIDAL FLAT		PROPOSED EASEMENT
	EXISTING COASTAL BARRIER BEACH		PROPOSED BUILDING
	EXISTING COASTAL BEACH		PROPOSED BUILDING OVERHANG
	100' BUFFER ZONE TO REGULATED RESOURCE AREA		PROPOSED FENCE
	HISTORIC HIGH WATER		PROPOSED GUIDE RAIL
	FEMA FLOOD ZONE BOUNDARY		PROPOSED SIGN
	COASTAL BANK		PROPOSED ENTRANCE
	LIMIT OF BARRIER BEACH		PROPOSED OVERHEAD DOOR
	EXISTING CHAIN LINK FENCE LINE		PROPOSED LIMITS OF DISTURBANCE
	EXISTING FENCE LINE		PROPOSED INDEX (MAJOR) CONTOUR
	EXISTING ROADWAY CENTERLINE		PROPOSED INTERMEDIATE (MINOR) CONTOUR
	EXISTING CURB		PROPOSED SLOPE LABEL
	EXISTING EDGE OF PAVEMENT		PROPOSED SPOT ELEVATION
	EXISTING ASPHALT PAVEMENT		TOP OF WALL ELEVATION
	EXISTING STRUCTURE		BOTTOM OF WALL ELEVATION
	EXISTING GUIDE RAIL		TOP OF CURB ELEVATION
	EXISTING STORM PIPE		BOTTOM OF CURB ELEVATION
	EXISTING DRAIN MANHOLE		PROPOSED STORM PIPE
	EXISTING CATCH BASIN		PROPOSED LANDSCAPE INLET
	EXISTING BORING LOCATION		PROPOSED LANDSCAPE INLET
	EXISTING SIGN		PROPOSED STORM MANHOLE
	EXISTING GAS METER		PROPOSED ROOF DRAIN
	EXISTING AIR CONDITIONING UNIT		PROPOSED SUBSURFACE CHAMBER SYSTEM
	EXISTING ELECTRIC METER		PROPOSED STRUCTURE LABEL
	EXISTING DECIDUOUS TREE		
	EXISTING CONIFEROUS TREE		
	HISTORICAL TEST PITS		
	CEC TEST PITS		



SCALE IN FEET  
0 20 40

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Civil & Environmental Consultants, Inc.  
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**PARAGON DUNES MIXED-USE REDEVELOPMENT**  
189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD  
HULL, MASSACHUSETTS

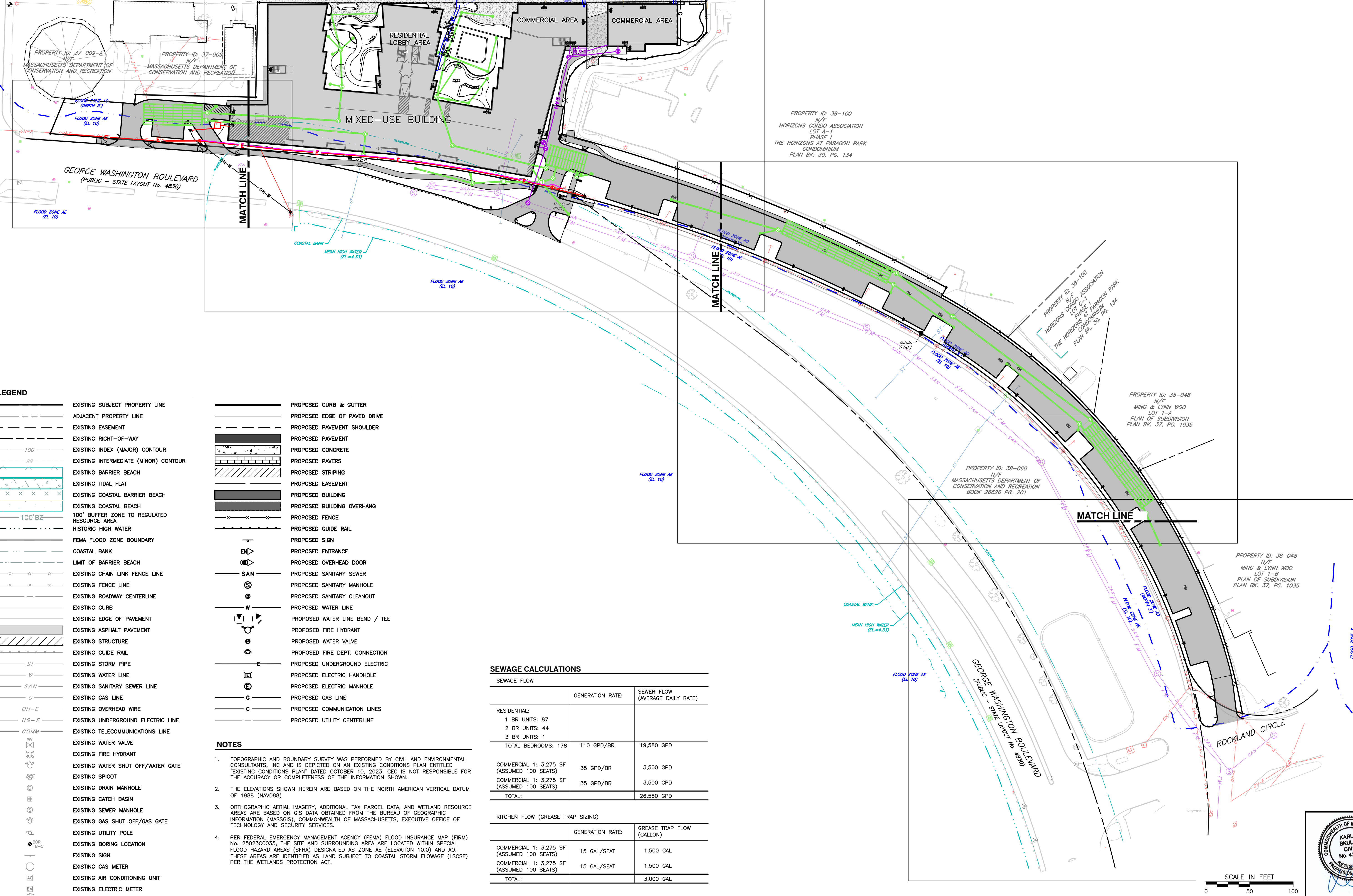
GRADING & DRAINAGE PLAN  
DATE: OCTOBER 10, 2023 | DRAWN BY: CJV | KPS  
DWG SCALE: 1"=20' | CHECKED BY: KPS | 334-762  
APPROVED BY: KPS





NANTASKET AVE. (ROUTE 228)  
(PUBLIC) VARIABLE WIDTH  
(BASED ON PLAN BK. 30, PG. 134)

NORTH



**LEGEND**

	EXISTING SUBJECT PROPERTY LINE		PROPOSED CURB & GUTTER
	ADJACENT PROPERTY LINE		PROPOSED EDGE OF PAVED DRIVE
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	EXISTING CHAIN LINK FENCE LINE		PROPOSED SANITARY SEWER
	EXISTING FENCE LINE		PROPOSED SANITARY MANHOLE
	EXISTING ROADWAY CENTERLINE		PROPOSED SANITARY CLEANOUT
	EXISTING CURB		PROPOSED WATER LINE
	EXISTING EDGE OF PAVEMENT		PROPOSED WATER LINE BEND / TEE
	EXISTING ASPHALT PAVEMENT		PROPOSED FIRE HYDRANT
	EXISTING STRUCTURE		PROPOSED WATER VALVE
	EXISTING GUIDE RAIL		PROPOSED FIRE DEPT. CONNECTION
	EXISTING STORM PIPE		PROPOSED UNDERGROUND ELECTRIC
	EXISTING WATER LINE		PROPOSED ELECTRIC HANDHOLE
	EXISTING SANITARY SEWER LINE		PROPOSED ELECTRIC MANHOLE
	EXISTING GAS LINE		PROPOSED GAS LINE
	EXISTING OVERHEAD WIRE		PROPOSED COMMUNICATION LINES
	EXISTING UNDERGROUND ELECTRIC LINE		PROPOSED UTILITY CENTERLINE
	EXISTING TELECOMMUNICATIONS LINE		
	EXISTING WATER VALVE		
	EXISTING FIRE HYDRANT		
	EXISTING WATER SHUT OFF/WATER GATE		
	EXISTING SPIGOT		
	EXISTING DRAIN MANHOLE		
	EXISTING CATCH BASIN		
	EXISTING SEWER MANHOLE		
	EXISTING GAS SHUT OFF/GAS GATE		
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	EXISTING AIR CONDITIONING UNIT		
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**SEWAGE CALCULATIONS**

SEWAGE FLOW		
	GENERATION RATE:	SEWER FLOW (AVERAGE DAILY RATE)
<b>RESIDENTIAL:</b>		
1 BR UNITS: 87		
2 BR UNITS: 44		
3 BR UNITS: 1		
TOTAL BEDROOMS: 178	110 GPD/BR	19,580 GPD
<b>COMMERCIAL 1:</b>		
3,275 SF (ASSUMED 100 SEATS)	35 GPD/BR	3,500 GPD
COMMERCIAL 1: 3,275 SF (ASSUMED 100 SEATS)	35 GPD/BR	3,500 GPD
TOTAL:		26,580 GPD
<b>KITCHEN FLOW (GREASE TRAP SIZING)</b>		
	GENERATION RATE:	GREASE TRAP FLOW (GALLON)
COMMERCIAL 1: 3,275 SF (ASSUMED 100 SEATS)	15 GAL/SEAT	1,500 GAL
COMMERCIAL 1: 3,275 SF (ASSUMED 100 SEATS)	15 GAL/SEAT	1,500 GAL
TOTAL:		3,000 GAL

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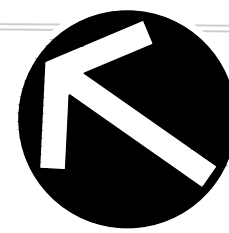
**UTILITY PLAN**

DATE: OCTOBER 10, 2023	DRAWN BY: CJW	KPS
DWG SCALE: 1"=20'	CHECKED BY: CJW	334-762
PROJECT NO: 23-001	APPROVED BY: [Signature]	KPS



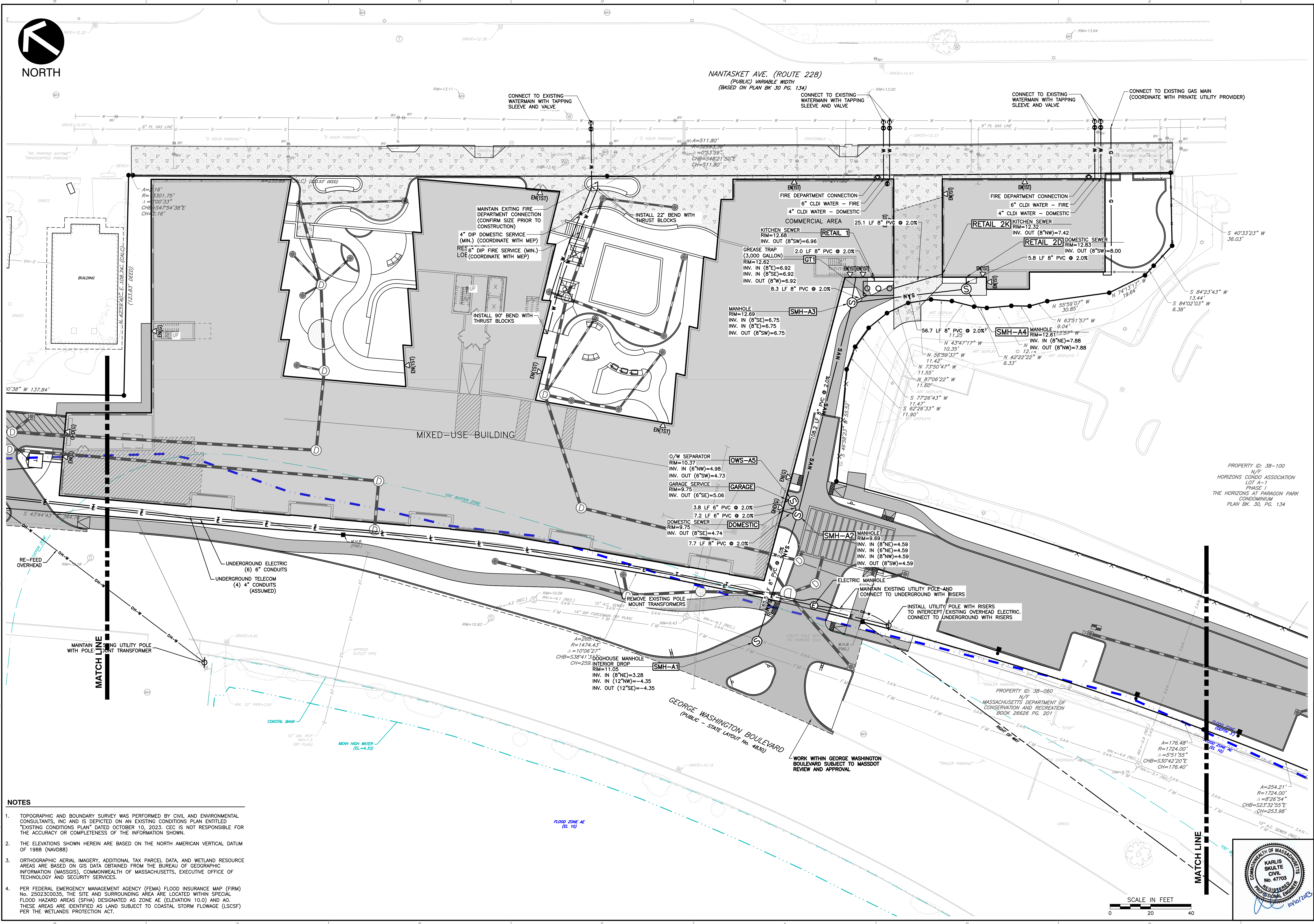
SCALE IN FEET  
0 50 100

A:\2023\2023-001\134762-001-C500.dwg (C500) 15/10/11/2023 8:38 AM LP: 10/11/2023 8:38 AM



NORTH

NANTASKET AVE. (ROUTE 228)  
(PUBLIC) VARIABLE WIDTH  
(BASED ON PLAN BK 30 PG. 134)



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0 20 40



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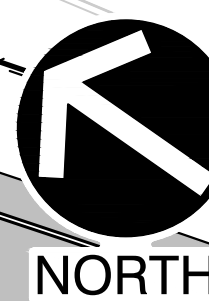
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189 & 193 NANTASKET AVENUE &  
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DATE:	DRAWN BY:	CJV
OCTOBER 10, 2023	[Signature]	KPS
PROJECT NO:	CHECKED BY:	KPS
11-20	[Signature]	KPS
APPROVED BY:		
[Signature]		

DRAWING NO. **C501**  
SHEET 16 OF 27





NORTH

(A=540.92' DEED)  
A=540.61' (TOTAL)  
R=1908.48'  
Δ=16°13'48"  
CHB=N27°26'33"W  
CH=538.81'

A=176.48'  
R=1724.00'  
Δ=5°51'55"  
CHB=S30°42'20"E  
CH=176.40'

A=254.21'  
R=1724.00'  
Δ=8°26'54"  
CHB=S23°32'55"E  
CH=253.98'

PROPERTY ID: 38-100  
N/F  
HORIZONS CONDO ASSOCIATION  
LOT A-1  
PHASE 1  
THE HORIZONS AT PARAGON PARK  
CONDOMINIUM  
PLAN BK. 30, PG. 134

A=610.25'  
R=687.27'  
Δ=50°52'29"  
CHB=N6°06'36"E  
CH=590.40'

PROPERTY ID: 38-048  
N/F  
MING & LYNN WOO  
LOT 1-4  
PLAN OF SUBDIVISION  
PLAN BK. 37, PG. 1035

PROPERTY ID: 38-060  
N/F  
MASSACHUSETTS DEPARTMENT OF  
CONSERVATION AND RECREATION  
BOOK 26626 PG. 201

LEGEND

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---	EXISTING STRUCTURE	---	PROPOSED WATER VALVE
---	EXISTING GUIDE RAIL	---	PROPOSED FIRE DEPT. CONNECTION
---	EXISTING STORM PIPE	---	PROPOSED UNDERGROUND ELECTRIC
---	EXISTING WATER LINE	---	PROPOSED ELECTRIC HANDHOLE
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---	EXISTING GAS LINE	---	PROPOSED GAS LINE
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---	EXISTING SPIGOT		
---	EXISTING DRAIN MANHOLE		
---	EXISTING CATCH BASIN		
---	EXISTING SEWER MANHOLE		
---	EXISTING GAS SHUT OFF/GAS GATE		
---	EXISTING UTILITY POLE		
---	EXISTING BORING LOCATION		
---	EXISTING SIGN		
---	EXISTING GAS METER		
---	EXISTING AIR CONDITIONING UNIT		
---	EXISTING ELECTRIC METER		

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PROJECT NO.:	334-762	APPROVED BY:	KPS

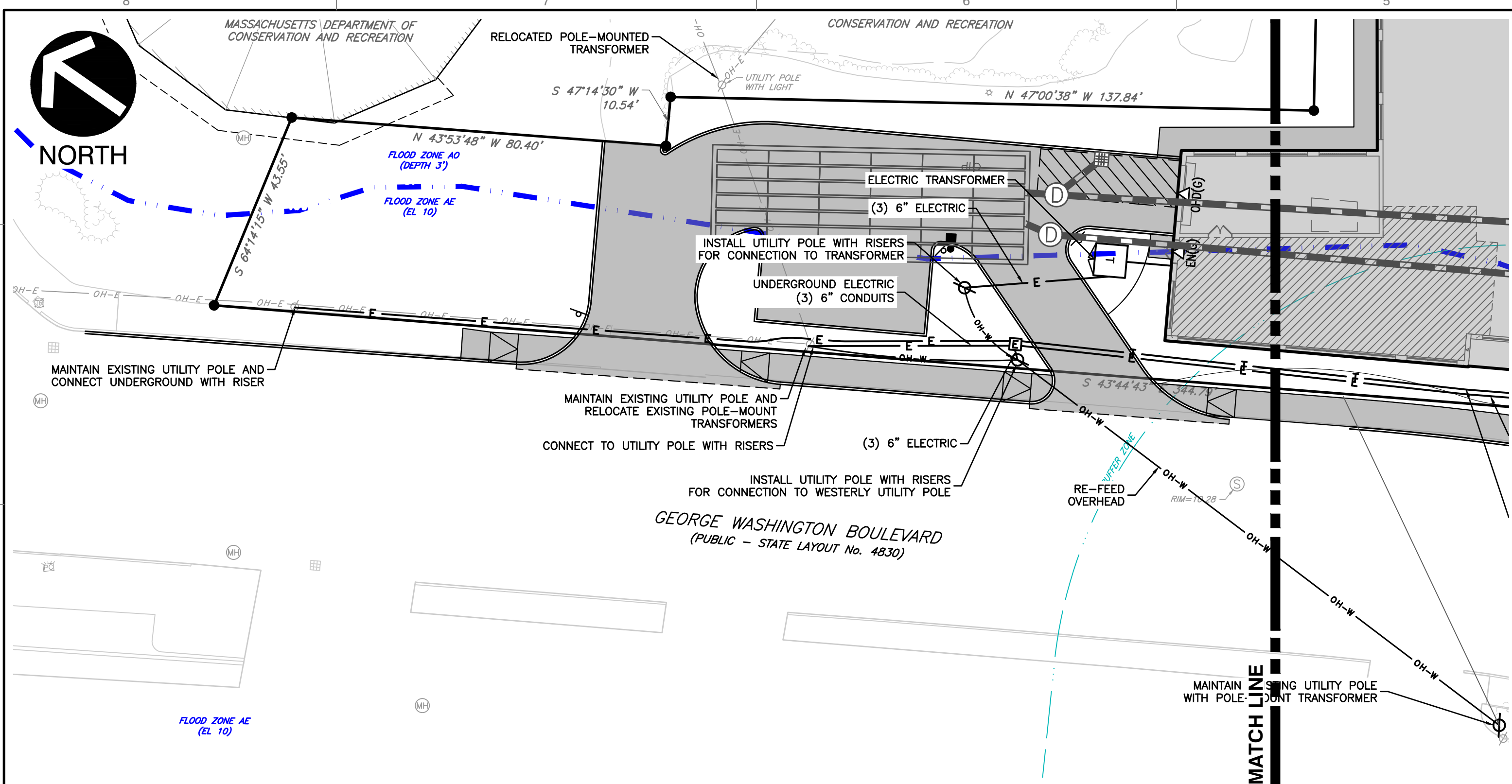
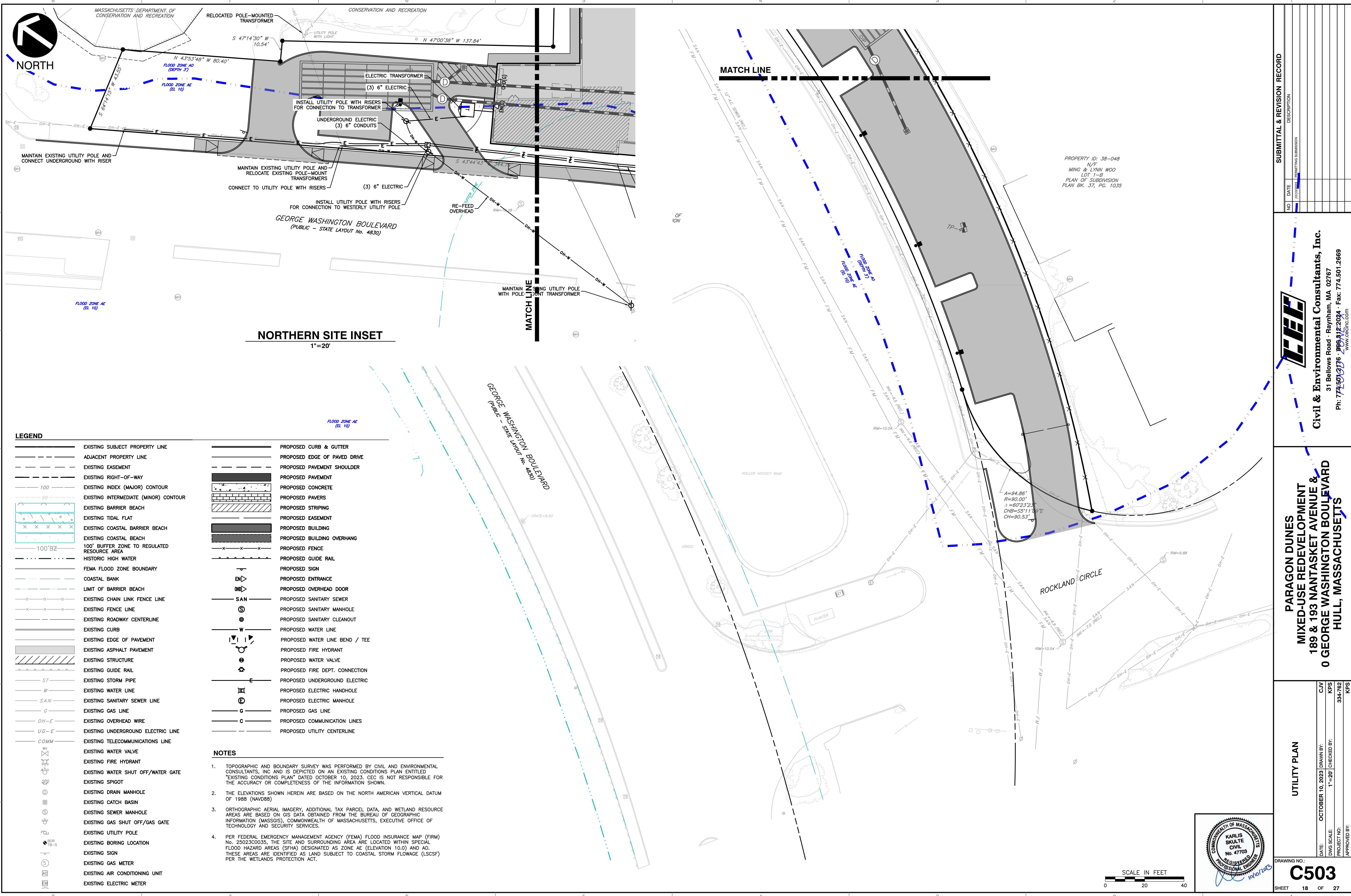


DRAWING NO. **C502**  
 SHEET 17 OF 27

- NOTES
1. TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY CIVIL AND ENVIRONMENTAL CONSULTANTS, INC AND IS DEPICTED ON AN EXISTING CONDITIONS PLAN ENTITLED "EXISTING CONDITIONS PLAN" DATED OCTOBER 10, 2023. CEC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
  2. THE ELEVATIONS SHOWN HEREIN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
  3. ORTHOGRAPHIC AERIAL IMAGERY, ADDITIONAL TAX PARCEL DATA, AND WETLAND RESOURCE AREAS ARE BASED ON GIS DATA OBTAINED FROM THE BUREAU OF GEOGRAPHIC INFORMATION (MASSGIS), COMMONWEALTH OF MASSACHUSETTS, EXECUTIVE OFFICE OF TECHNOLOGY AND SECURITY SERVICES.
  4. PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE MAP (FIRM) NO. 25023C0035, THE SITE AND SURROUNDING AREA ARE LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS (SFHA) DESIGNATED AS ZONE AE (ELEVATION 10.0) AND AO. THESE AREAS ARE IDENTIFIED AS LAND SUBJECT TO COASTAL STORM FLOWAGE (LSCSF) PER THE WETLANDS PROTECTION ACT.



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 10/11/2023 8:38 AM



**LEGEND**

	EXISTING SUBJECT PROPERTY LINE		PROPOSED CURB & GUTTER
	ADJACENT PROPERTY LINE		PROPOSED EDGE OF PAVED DRIVE
	EXISTING EASEMENT		PROPOSED PAVEMENT SHOULDER
	EXISTING RIGHT-OF-WAY		PROPOSED PAVEMENT
	EXISTING INDEX (MAJOR) CONTOUR		PROPOSED CONCRETE
	EXISTING INTERMEDIATE (MINOR) CONTOUR		PROPOSED PAVERS
	EXISTING BARRIER BEACH		PROPOSED STRIPING
	EXISTING TIDAL FLAT		PROPOSED EASEMENT
	EXISTING COASTAL BARRIER BEACH		PROPOSED BUILDING
	EXISTING COASTAL BEACH		PROPOSED BUILDING OVERHANG
	100' BUFFER ZONE TO REGULATED RESOURCE AREA		PROPOSED FENCE
	HISTORIC HIGH WATER		PROPOSED GUIDE RAIL
	FEMA FLOOD ZONE BOUNDARY		PROPOSED SIGN
	COASTAL BANK		PROPOSED ENTRANCE
	LIMIT OF BARRIER BEACH		PROPOSED OVERHEAD DOOR
	EXISTING CHAIN LINK FENCE LINE		PROPOSED SANITARY SEWER
	EXISTING FENCE LINE		PROPOSED SANITARY MANHOLE
	EXISTING ROADWAY CENTERLINE		PROPOSED SANITARY CLEANOUT
	EXISTING CURB		PROPOSED WATER LINE
	EXISTING EDGE OF PAVEMENT		PROPOSED WATER LINE BEND / TEE
	EXISTING ASPHALT PAVEMENT		PROPOSED FIRE HYDRANT
	EXISTING STRUCTURE		PROPOSED WATER VALVE
	EXISTING GUIDE RAIL		PROPOSED FIRE DEPT. CONNECTION
	EXISTING STORM PIPE		PROPOSED UNDERGROUND ELECTRIC
	EXISTING WATER LINE		PROPOSED ELECTRIC HANDHOLE
	EXISTING SANITARY SEWER LINE		PROPOSED ELECTRIC MANHOLE
	EXISTING GAS LINE		PROPOSED GAS LINE
	EXISTING OVERHEAD WIRE		PROPOSED COMMUNICATION LINES
	EXISTING UNDERGROUND ELECTRIC LINE		PROPOSED UTILITY CENTERLINE
	EXISTING TELECOMMUNICATIONS LINE		
	EXISTING WATER VALVE		
	EXISTING FIRE HYDRANT		
	EXISTING WATER SHUT OFF/WATER GATE		
	EXISTING SPIGOT		
	EXISTING DRAIN MANHOLE		
	EXISTING CATCH BASIN		
	EXISTING SEWER MANHOLE		
	EXISTING GAS SHUT OFF/GAS GATE		
	EXISTING UTILITY POLE		
	EXISTING BORING LOCATION		
	EXISTING SIGN		
	EXISTING GAS METER		
	EXISTING AIR CONDITIONING UNIT		
	EXISTING ELECTRIC METER		

- NOTES**
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**SUBMITTAL & REVISION RECORD**

NO	DATE	DESCRIPTION

**Civil & Environmental Consultants, Inc.**  
 31 Belkows Road · Raynham, MA 02767  
 Ph: 774.501.2176 · 966.812.2024 · Fax: 774.501.2669  
 www.cecinc.com

**PARAGON DUNES  
 MIXED-USE REDEVELOPMENT  
 189 & 193 NANTASKET AVENUE &  
 0 GEORGE WASHINGTON BOULEVARD  
 HULL, MASSACHUSETTS**

**UTILITY PLAN**

DATE: OCTOBER 10, 2023 | DRAWN BY: CJV | KPS  
 DIVS SCALE: 1"=20' | CHECKED BY: KPS | 334-762  
 APPROVED BY: KPS





NANTASKET AVE. (ROUTE 228)  
(PUBLIC) VARIABLE WIDTH  
(BASED ON PLAN BK 30 PG. 134)

WHARF AVENUE

GEORGE WASHINGTON BOULEVARD  
(PUBLIC - STATE LAYOUT No. 4830)

MIXED-USE BUILDING

COMMERCIAL AREA

COMMERCIAL AREA

SHEET C701

PROPERTY ID: 38-100  
N/F  
HORIZONS CONDO ASSOCIATION  
LOT A-1  
PHASE 1  
THE HORIZONS AT PARAGON PARK  
CONDOMINIUM  
PLAN BK. 30, PG. 134

PROPERTY ID: 38-100  
N/F  
HORIZONS CONDO ASSOCIATION  
LOT C-1  
PHASE 1  
THE HORIZONS AT PARAGON PARK  
CONDOMINIUM  
PLAN BK. 30, PG. 134

PROPERTY ID: 38-048  
N/F  
MING & LYNN WOO  
LOT 1-A  
PLAN OF SUBDIVISION  
PLAN BK. 37, PG. 1035

PROPERTY ID: 38-060  
N/F  
MASSACHUSETTS DEPARTMENT OF  
CONSERVATION AND RECREATION  
BOOK 26826 PG. 201

PROPERTY ID: 38-048  
N/F  
MING & LYNN WOO  
LOT 1-B  
PLAN OF SUBDIVISION  
PLAN BK. 37, PG. 1035

LEGEND

	EXISTING SUBJECT PROPERTY LINE		PROPOSED CURB & GUTTER
	ADJACENT PROPERTY LINE		PROPOSED EDGE OF PAVED DRIVE
	EXISTING EASEMENT		PROPOSED PAVEMENT SHOULDER
	EXISTING RIGHT-OF-WAY		PROPOSED PAVEMENT
	EXISTING INDEX (MAJOR) CONTOUR		PROPOSED CONCRETE
	EXISTING INTERMEDIATE (MINOR) CONTOUR		PROPOSED PAVERS
	EXISTING BARRIER BEACH		PROPOSED STRIPING
	EXISTING TIDAL FLAT		PROPOSED EASEMENT
	EXISTING COASTAL BARRIER BEACH		PROPOSED BUILDING
	EXISTING COASTAL BEACH		PROPOSED BUILDING OVERHANG
	100' BUFFER ZONE TO REGULATED RESOURCE AREA		PROPOSED FENCE
	HISTORIC HIGH WATER		PROPOSED GUIDE RAIL
	FEMA FLOOD ZONE BOUNDARY		PROPOSED SIGN
	COASTAL BANK		PROPOSED ENTRANCE
	LIMIT OF BARRIER BEACH		PROPOSED OVERHEAD DOOR
	EXISTING CHAIN LINK FENCE LINE		BOTTOM OF CURB
	EXISTING FENCE LINE		BITUMINOUS
	EXISTING ROADWAY CENTERLINE		BOTTOM OF WALL
	EXISTING CURB		CONCRETE CURB
	EXISTING EDGE OF PAVEMENT		CHAIN LINK FENCE
	EXISTING ASPHALT PAVEMENT		CONCRETE
	EXISTING STRUCTURE		ENTRANCE
	EXISTING GUIDE RAIL		
	EXISTING FIRE HYDRANT		
	EXISTING GAS SHUT OFF/GAS GATE		
	EXISTING UTILITY POLE		
	EXISTING BORING LOCATION		
	EXISTING SIGN		
	EXISTING GAS METER		
	EXISTING AIR CONDITIONING UNIT		
	EXISTING ELECTRIC METER		
	EXISTING DECIDUOUS TREE		
	EXISTING CONIFEROUS TREE		
	HISTORICAL TEST PITS		
	CEC TEST PITS		

NOTES

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PLANTING SOIL PREPARATION NOTES:

- BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS, AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH.
- MIX SOIL AMENDMENTS AS SPECIFIED ON PLANTING DETAILS. MIX FERTILIZERS WITH TOPSOIL AT RATES INDICATED. DELAY MIXING FERTILIZER IF PLANTING DOES NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
- FOR TREE PIT OR TRENCH BACKFILL, MIX PLANTING SOIL BEFORE BACKFILLING AND STOCKPILE AT SITE. PROVIDE SPECIFIED FERTILIZER AT A RATE OF:  
SHADE TREE: 2 POUNDS PER INCH OF CALIPER  
SMALL TREE: 1 POUND PER INCH OF CALIPER
- FOR PLANTING BEDS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.  
APPLY SPECIFIED COMMERCIAL FERTILIZER AT RATES AND THOROUGHLY MIX INTO UPPER 2" OF TOPSOIL. PROVIDE SPECIFIED FERTILIZER AT THE FOLLOWING RATES:  
SHRUBS: 1/4 POUND PER FOOT HEIGHT OR SPREAD  
EVERGREENS: 1/8 POUND PER FOOT HEIGHT OR SPREAD  
HERBACEOUS PLANTS: 1/8 POUND PER FOOT HEIGHT OR SPREAD
- FOR PARKING LOT ISLANDS EXCAVATE MIN. 24" DEPTH TO REMOVE ALL CONSTRUCTION DEBRIS. BACKFILL WITH BLENDED MIX OF 60% TOPSOIL, 30% COMPOST AND 10% SAND MIX. COMPACT BACKFILL IN 8" LIFTS TO PREVENT SETTLING AFTER PLANT INSTALLATION.
- GROUND COVER AND PERENNIAL PLANT BED PREPARATION: TILL SOIL IN BEDS TO A MINIMUM DEPTH OF 8" AND MIX WITH SPECIFIED FERTILIZERS.  
FERTILIZER AT A RATE OF 2 POUNDS PER 100 SQ.FT.
- FINAL GRADING AND PLACEMENT OF TOPSOIL FOR TURF & PLANTING AREAS:  
A. LOOSEN SUBGRADE AND TURF AREAS TO A MINIMUM DEPTH OF 4" - 6". REMOVE STONES MEASURING OVER 1-1/2" IN ANY DIMENSION. REMOVE STICKS, ROOTS, RUBBISH AND OTHER EXTRANEUS MATTER. LIMIT PREPARATION TO AREAS WHICH WILL BE PLANTED PROMPTLY AFTER PREPARATION.  
B. SPREAD TOPSOIL TO MINIMUM DEPTH REQUIRED TO MEET LINES, GRADES, AND ELEVATIONS SHOWN, AFTER LIGHT ROLLING AND NATURAL SETTLEMENT.  
C. MINIMUM DEPTH OF TOPSOIL SHALL BE 4" UNLESS OTHERWISE INDICATED. IN TREE AND SHRUB PLANTING AREAS THERE SHALL BE 18"-24" TOPSOIL AROUND THE PLANT, AT LEAST IN AN AREA EQUAL TO THE PLANT'S MATURE CANOPY SIZE.  
D. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF TOPSOIL REQUIRED, WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER AND THEN PLACE REMAINDER OF TOPSOIL.  
E. ALL TURF AREAS ADJACENT TO WALKS, CONTRACTOR TO HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION.  
F. AREAS ADJACENT TO STRUCTURES AND CURB ISLANDS, SHALL BE FREE OF GRAVEL AND DEBRIS, LOOSE COMPACTED HARDPAN- MIN. DEPTH OF 18" BEFORE PLACEMENT OF TOPSOIL.

GENERAL LANDSCAPE NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- CONTRACTOR SHALL REQUEST UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF WORK. VERIFY ALL EXISTING UTILITIES AND CONDITIONS PRIOR TO ANY EXCAVATION AT LEAST 72 HOURS PRIOR TO LANDSCAPE INSTALLATION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
- NO CHANGES TO THE SITE LANDSCAPE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUALITY AND QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON DRAWINGS. PLANT MATERIAL DELIVERED TO SITE SHALL BE STORED IN SECURE LOCATION NOT IN CONFLICT WITH OTHER CONSTRUCTION OPERATIONS AND MAINTAINED UNTIL TIME OF INSTALLATION.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT "AMERICAN ASSOCIATION OF NURSERY STOCK, ANSI Z60.1-2004", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED.
- ALL PLANTS SHALL BE PLANTED SO THAT THE ROOT CROWN IS PLANTED AT GRADE LEVEL.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. TWINE OR ROPE SHALL BE REMOVED FROM AROUND CROWN OF TRUNK TO PREVENT GIRDLING OF TREE OR SHRUB.
- WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- CONTRACTOR TO REMOVE ALL LANDSCAPE DEBRIS FROM PLANTING OPERATIONS FROM THE PROJECT SITE. NO OPEN BURNING SHALL BE PERMITTED ON SITE.
- THE DAY PRIOR TO PLANTING, THE LOCATIONS OF ALL TREES AND SHRUBS SHALL BE STAKED AND PLANTING BEDLINE OUTLINES DEFINED FOR APPROVAL BY OWNER(S).
- THE LANDSCAPE CONTRACTOR SHALL REFER TO CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE (1) CALENDAR YEAR FROM THE TIME OF SUBSTANTIAL COMPLETION OF PROJECT. AT THE END OF THIS PERIOD, ANY PLANT MATERIAL DEEMED UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL COST TO OWNER.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE PLANT SCHEDULE, THE PLANS SHALL TAKE PRECEDENCE.
- CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- STAKES AND OR GUY WIRES SHALL BE REMOVED AFTER ONE (1) YEAR OF INSTALLATION.
- ALL EXISTING LANDSCAPING SHALL BE MAINTAINED DURING CONSTRUCTION. ANY MATERIAL DEEMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT, WILL BE REPLACED EQUIVALENT IN SIZE AND SHAPE AT NO COST TO OWNER.
- IF PLANT SPECIES SPECIFIED ARE FOUND TO BE UNAVAILABLE OR NOT IN SUFFICIENT QUANTITIES AT TIME OF PLANTING, THE CONTRACTOR MAY SUBSTITUTE SPECIES UPON WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
- IRRIGATION TO BE PROVIDED FOR ALL PROPOSED PLANTINGS; CONTRACTOR TO COORDINATE INSTALLATION.
- LANDSCAPING SHALL BE SUBSTANTIALLY INSTALLED PRIOR TO THE ISSUANCE OF OCCUPANCY PERMIT FOR THE PRINCIPAL STRUCTURE ON LOT, WEATHER PERMITTING, OR, IN THE EVENT OF ADVERSE WEATHER CONDITIONS, WITHIN NINETY (90) DAYS FOLLOWING THE COMMENCEMENT OF THE NEXT SUCCESSIVE PLANTING SEASON FOLLOWING ISSUANCE OF OCCUPANCY PERMIT.
- ALL LANDSCAPE PLANTINGS TO BE MAINTAINED BY CONTRACTOR FOR 60 DAYS FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. MAINTENANCE TO INCLUDE WATERING, WEED REMOVAL, MULCHING, MOWING AND ALL OTHER NECESSARY OPERATIONS REQUIRED FOR PROPER ESTABLISHMENT OF PLANTINGS AND TURF AREAS.

15:10/11/2023 8:40 AM  
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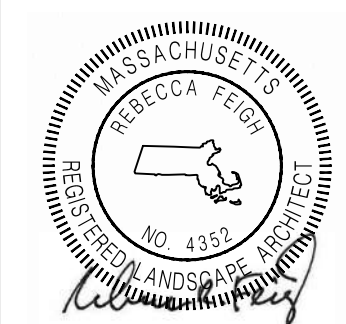
NO.	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION

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**PARAGON DUNES  
 MIXED-USE REDEVELOPMENT  
 189 & 193 NANTASKET AVENUE &  
 0 GEORGE WASHINGTON BOULEVARD  
 HULL, MASSACHUSETTS**

DATE: OCTOBER 10, 2023	DRWN BY:	CJV
	DWG SCALE:	KPS
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	APPROVED BY:	

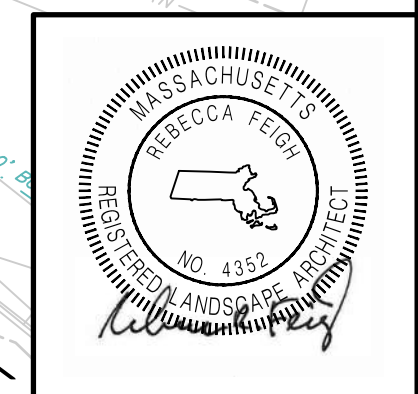
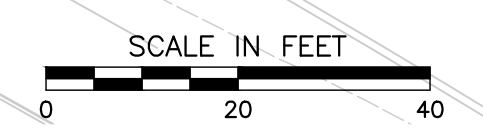
DRAWING NO: **C700**  
 SHEET 19 OF 27



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0 50 100



- NOTES**
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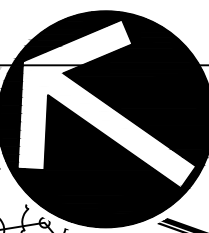
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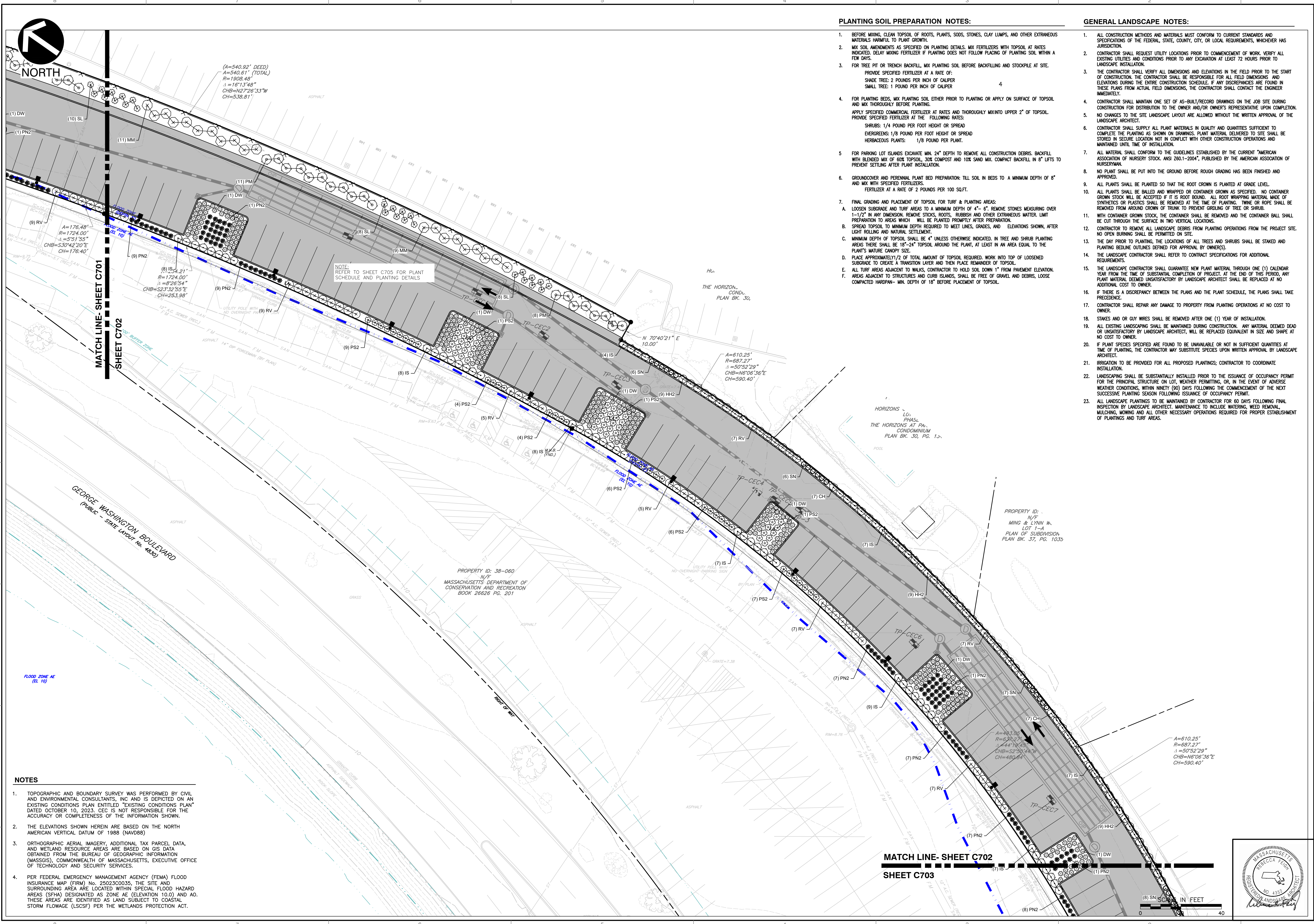
**LANDSCAPE PLAN**

DATE: OCTOBER 10, 2023 DRAWN BY: CJV  
 DWG SCALE: 1"=20' CHECKED BY: KPS  
 PROJECT NO: 334-762  
 APPROVED BY: KPS

DRAWING NO: **C701**  
 SHEET 20 OF 27



NORTH



**PLANTING SOIL PREPARATION NOTES:**

- BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- MIX SOIL AMENDMENTS AS SPECIFIED ON PLANTING DETAILS. MIX FERTILIZERS WITH TOPSOIL AT RATES INDICATED. DELAY MIXING FERTILIZER IF PLANTING DOES NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
- FOR TREE PIT OR TRENCH BACKFILL, MIX PLANTING SOIL BEFORE BACKFILLING AND STOCKPILE AT SITE. PROVIDE SPECIFIED FERTILIZER AT A RATE OF:  
SHADE TREE: 2 POUNDS PER INCH OF CALIPER  
SMALL TREE: 1 POUND PER INCH OF CALIPER
- FOR PLANTING BEDS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.  
APPLY SPECIFIED COMMERCIAL FERTILIZER AT RATES AND THOROUGHLY MIX INTO UPPER 2" OF TOPSOIL. PROVIDE SPECIFIED FERTILIZER AT THE FOLLOWING RATES:  
SHRUBS: 1/4 POUND PER FOOT HEIGHT OR SPREAD  
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FERTILIZER AT A RATE OF 2 POUNDS PER 100 SQ.FT.
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A. LOOSEN SUBGRADE AND TURF AREAS TO A MINIMUM DEPTH OF 4" - 6". REMOVE STONES MEASURING OVER 1-1/2" IN ANY DIMENSION. REMOVE STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATTER. LIMIT PREPARATION TO AREAS WHICH WILL BE PLANTED PROMPTLY AFTER PREPARATION.  
B. SPREAD TOPSOIL TO MINIMUM DEPTH REQUIRED TO MEET LINES, GRADES, AND ELEVATIONS SHOWN, AFTER LIGHT ROLLING AND NATURAL SETTLEMENT.  
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NOTE:  
REFER TO SHEET C705 FOR PLANT SCHEDULE AND PLANTING DETAILS

MATCH LINE- SHEET C701  
SHEET C702

MATCH LINE- SHEET C702  
SHEET C703

- NOTES**
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**SUBMITTAL & REVISION RECORD**

NO.	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION

**Civil & Environmental Consultants, Inc.**  
 31 Bellows Road - Raynham, MA 02767  
 Ph: 774.501.2176 - 866.312.2024 - Fax: 774.501.2669  
 www.cecinc.com

**PARAGON DUNES MIXED-USE REDEVELOPMENT**  
 189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD  
 HULL, MASSACHUSETTS

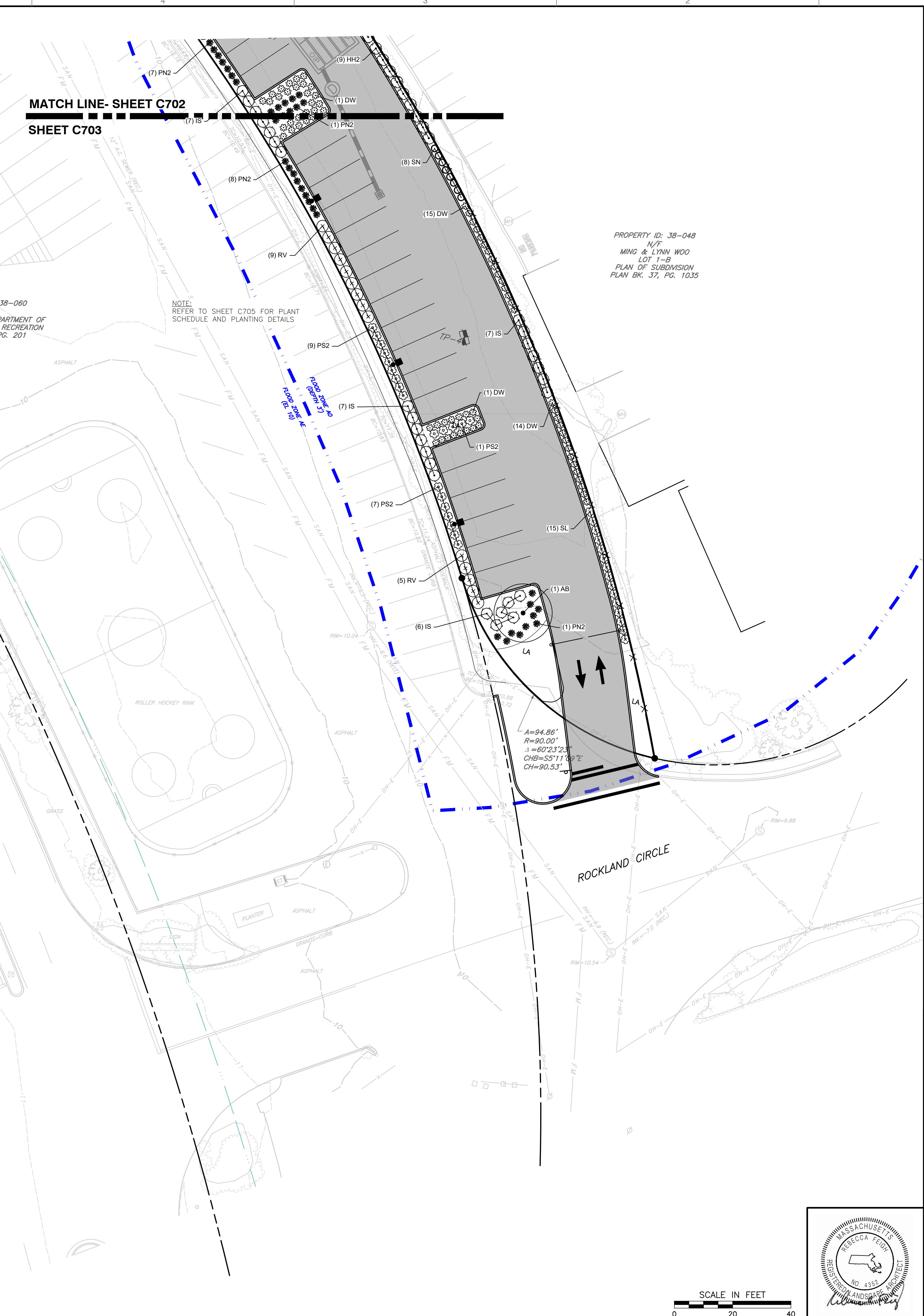
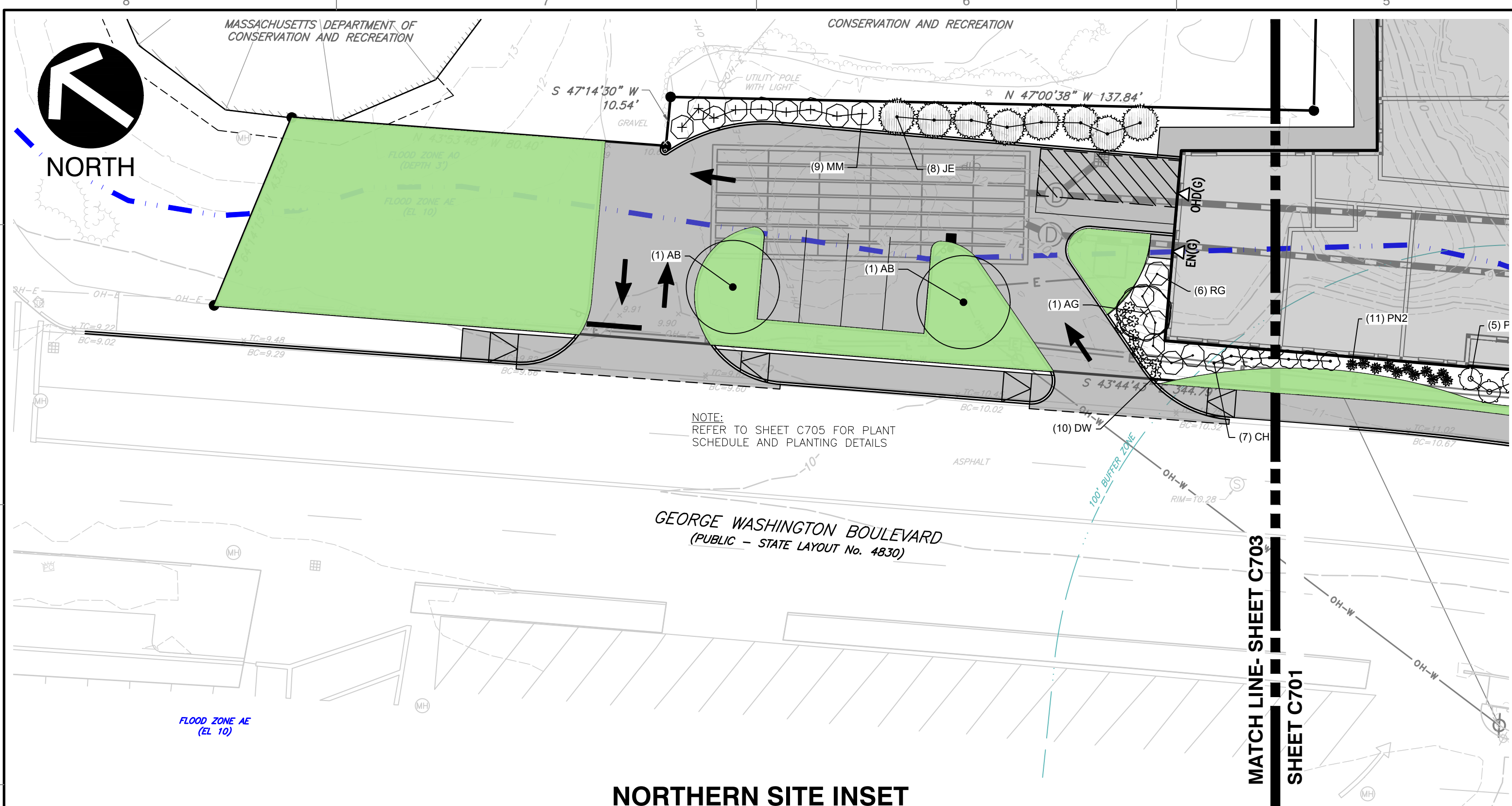
**LANDSCAPE PLAN**

DRAWING NO: **C702**

SHEET 21 OF 27

DATE: OCTOBER 10, 2023	DRAWN BY: CJV
DWG SCALE: 1"=20'	KPS
PROJECT NO: 334-762	KPS
CHECKED BY:	KPS
APPROVED BY:	KPS

A:\300-0001\334-762\3000\Drawings\001\334762-001-C703.dwg(2/29) LS(10/11/2023 8:40 AM) - LP: 10/11/2023 8:40 AM



**PLANTING SOIL PREPARATION NOTES:**

- BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS, AND OTHER EXTRANEEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- MIX SOIL AMENDMENTS AS SPECIFIED ON PLANTING DETAILS. MIX FERTILIZERS WITH TOPSOIL AT RATES INDICATED. DELAY MIXING FERTILIZER IF PLANTING DOES NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
- FOR TREE PIT OR TRENCH BACKFILL, MIX PLANTING SOIL BEFORE BACKFILLING AND STOCKPILE AT SITE. PROVIDE SPECIFIED FERTILIZER AT A RATE OF:  
SHADE TREE: 2 POUNDS PER INCH OF CALIPER  
SMALL TREE: 1 POUND PER INCH OF CALIPER
- FOR PLANTING BEDS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.  
APPLY SPECIFIED COMMERCIAL FERTILIZER AT RATES AND THOROUGHLY MIX INTO UPPER 2" OF TOPSOIL. PROVIDE SPECIFIED FERTILIZER AT THE FOLLOWING RATES:  
SHRUBS: 1/4 POUND PER FOOT HEIGHT OR SPREAD  
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- FOR PARKING LOT ISLANDS EXCAVATE MIN. 24" DEPTH TO REMOVE ALL CONSTRUCTION DEBRIS. BACKFILL WITH BLENDED MIX OF 80% TOPSOIL, 30% COMPOST AND 10% SAND MIX. COMPACT BACKFILL IN 8" LIFTS TO PREVENT SETTLING AFTER PLANT INSTALLATION.
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C. MINIMUM DEPTH OF TOPSOIL SHALL BE 4" UNLESS OTHERWISE INDICATED. IN TREE AND SHRUB PLANTING AREAS THERE SHALL BE 18"-24" TOPSOIL AROUND THE PLANT, AT LEAST IN AN AREA EQUAL TO THE PLANT'S MATURE CANOPY SIZE.  
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NO	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION

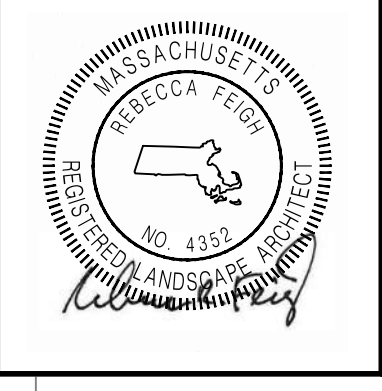
**CEC**  
**Civil & Environmental Consultants, Inc.**  
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**PARAGON DUNES  
MIXED-USE REDEVELOPMENT  
189 & 193 NANTASKET AVENUE &  
0 GEORGE WASHINGTON BOULEVARD  
HULL, MASSACHUSETTS**

**LANDSCAPE PLAN**

DATE: OCTOBER 10, 2023 | DRAWN BY: CJV | KPS  
DWG SCALE: 1"=20' | CHECKED BY: KPS | 334-762  
PROJECT NO.: APPROVED BY: KPS

DRAWING NO.: **C703**  
SHEET 22 OF 27





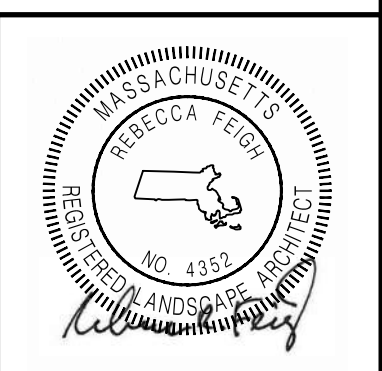
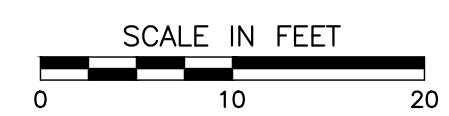
NORTH



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D. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF TOPSOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER AND THEN PLACE REMAINDER OF TOPSOIL.  
E. ALL TURF AREAS ADJACENT TO WALKS, CONTRACTOR TO HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION.  
F. AREAS ADJACENT TO STRUCTURES AND CURB ISLANDS, SHALL BE FREE OF GRAVEL AND DEBRIS, LOOSE COMPACTED HARDPAN- MIN. DEPTH OF 18" BEFORE PLACEMENT OF TOPSOIL.

- NOTES**
- TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY CIVIL AND ENVIRONMENTAL CONSULTANTS, INC AND IS DEPICTED ON AN EXISTING CONDITIONS PLAN ENTITLED "EXISTING CONDITIONS PLAN" DATED OCTOBER 10, 2023. CEC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
  - THE ELEVATIONS SHOWN HEREIN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
  - ORTHOGRAPHIC AERIAL IMAGERY, ADDITIONAL TAX PARCEL DATA, AND WETLAND RESOURCE AREAS ARE BASED ON GIS DATA OBTAINED FROM THE BUREAU OF GEOGRAPHIC INFORMATION (MASSGIS), COMMONWEALTH OF MASSACHUSETTS, EXECUTIVE OFFICE OF TECHNOLOGY AND SECURITY SERVICES.
  - PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE MAP (FIRM) No. 25023C0035, THE SITE AND SURROUNDING AREA ARE LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS (SFHA) DESIGNATED AS ZONE AE (ELEVATION 10.0) AND AO. THESE AREAS ARE IDENTIFIED AS LAND SUBJECT TO COASTAL STORM FLOWAGE (LSCSF) PER THE WETLANDS PROTECTION ACT.



LANDSCAPE ENLARGEMENT PLAN  
 DATE: OCTOBER 10, 2023  
 DRAWN BY: CJV  
 DWG SCALE: 1"=20'  
 PROJECT NO: 334-762  
 CHECKED BY: KPS  
 APPROVED BY: KPS

DRAWING NO: **C704**  
 SHEET 23 OF 27

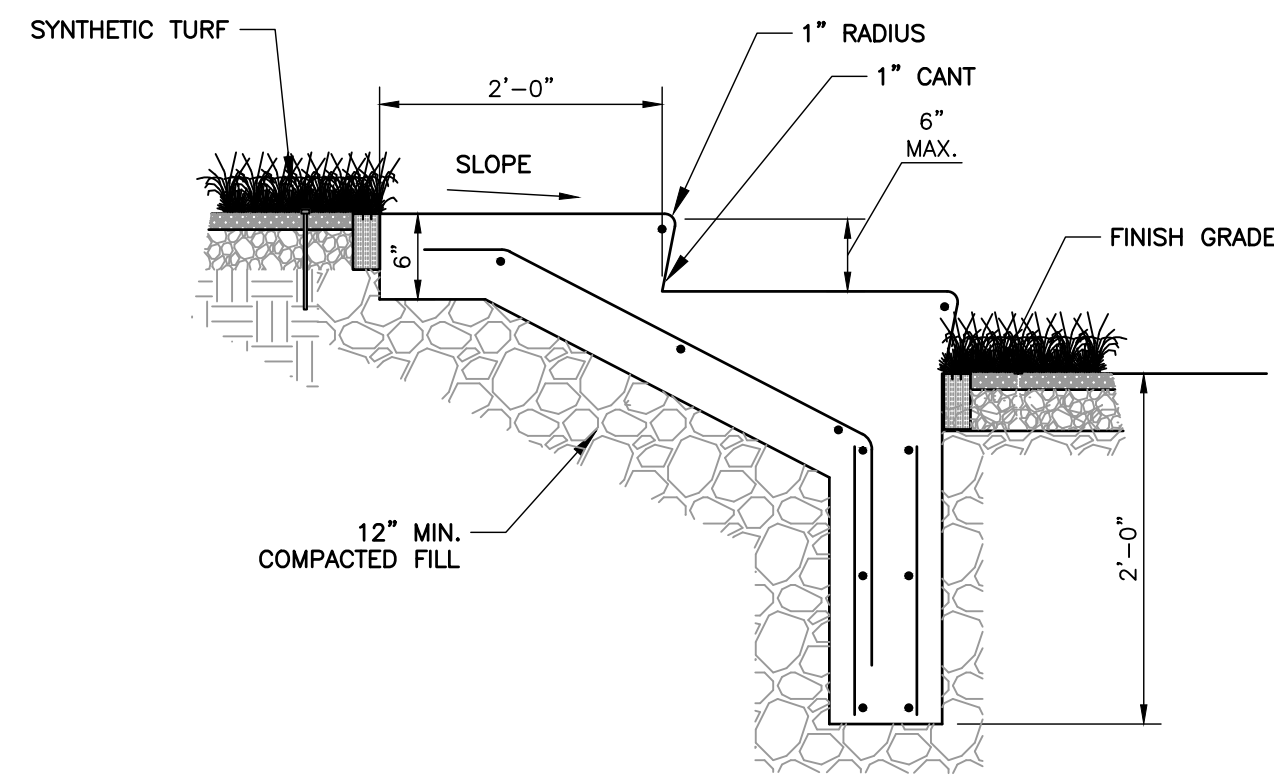
**PARAGON DUNES MIXED-USE REDEVELOPMENT**  
 189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD  
 HULL, MASSACHUSETTS

**Civil & Environmental Consultants, Inc.**  
 31 Bellows Road - Raynham, MA 02767  
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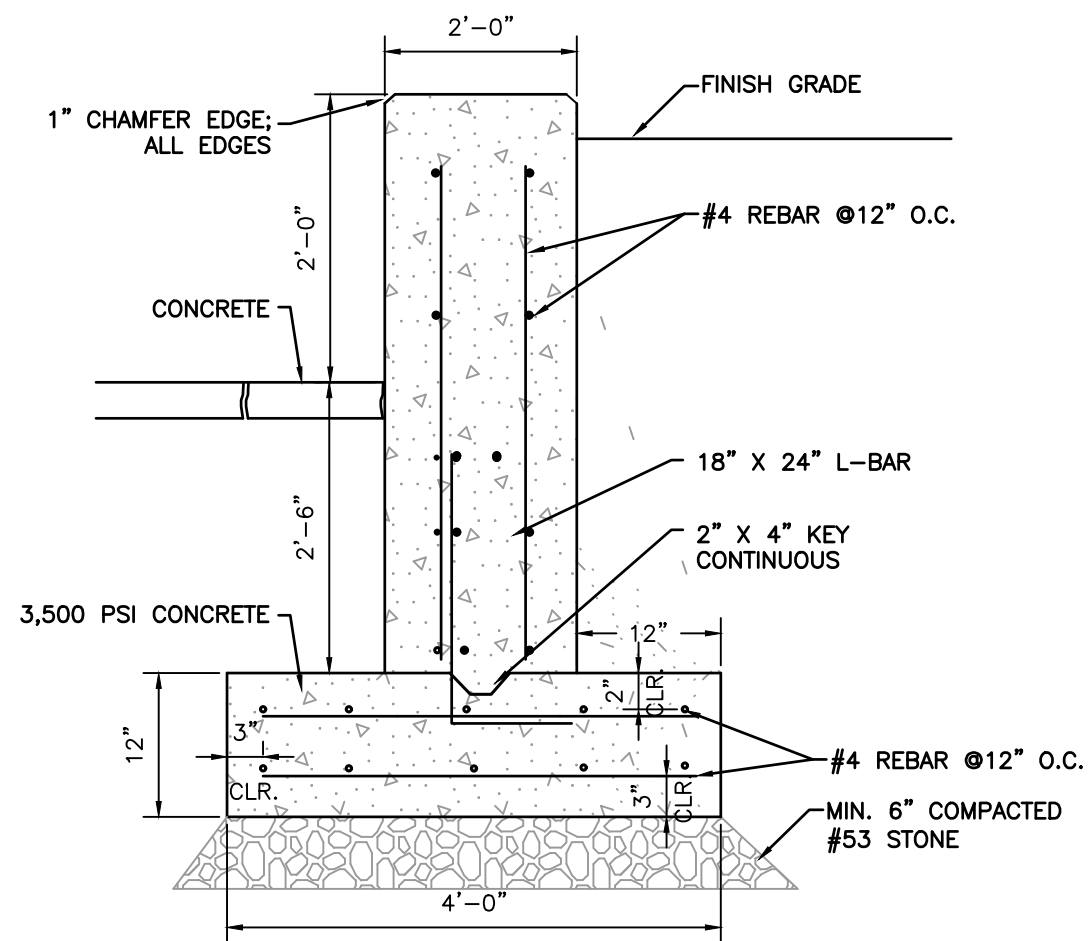
**SUBMITTAL & REVISION RECORD**

NO.	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION

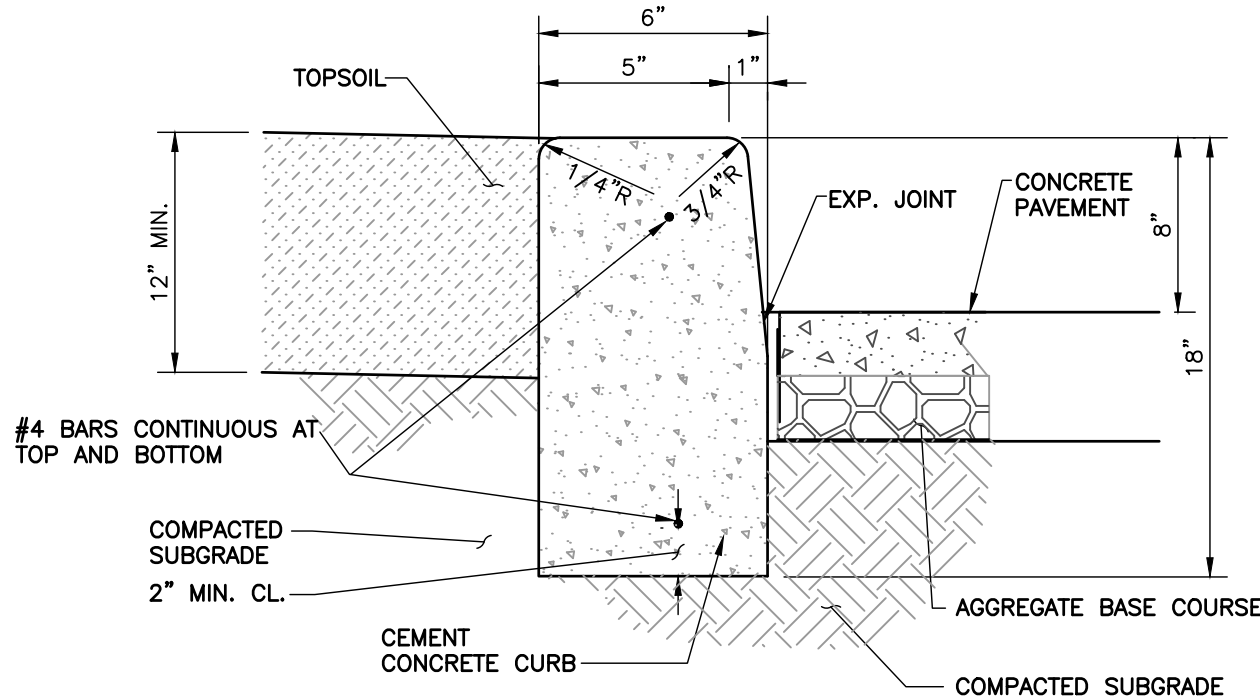
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**DETAIL - CONCRETE LAWN STEPS**  
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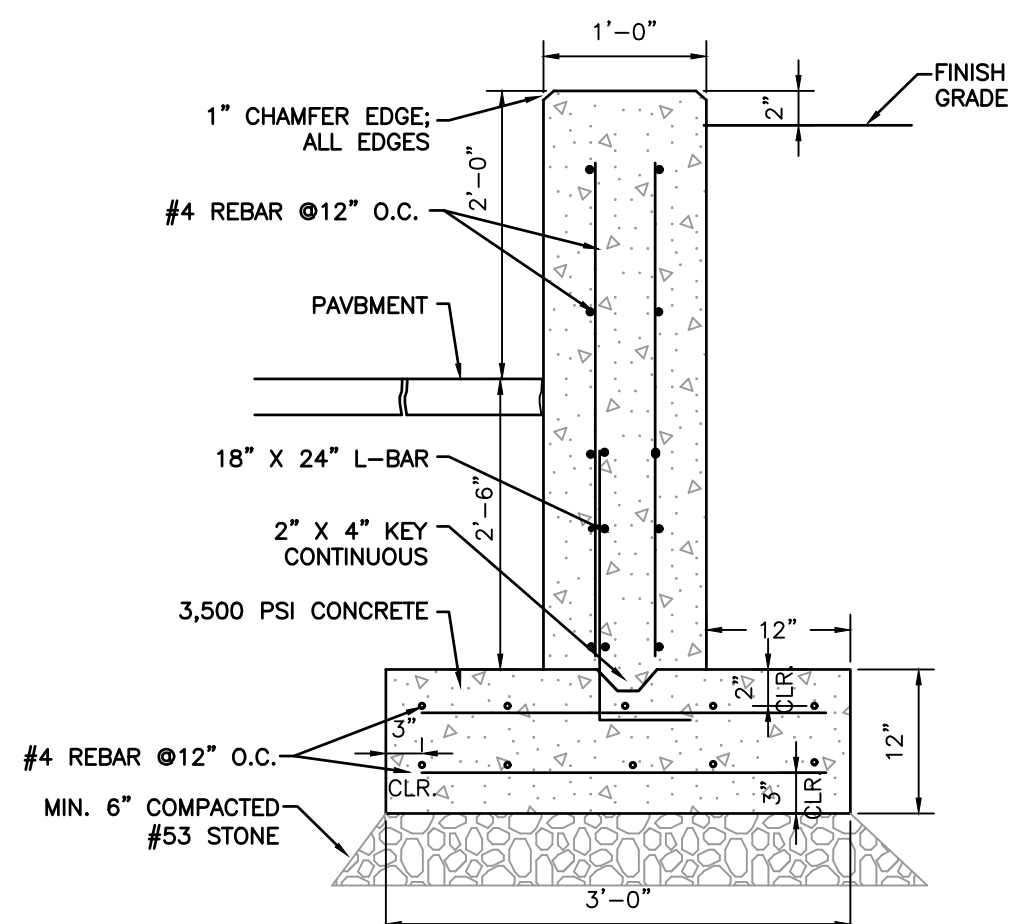


**DETAIL - CONCRETE SEATWALL DETAIL**  
NOT TO SCALE

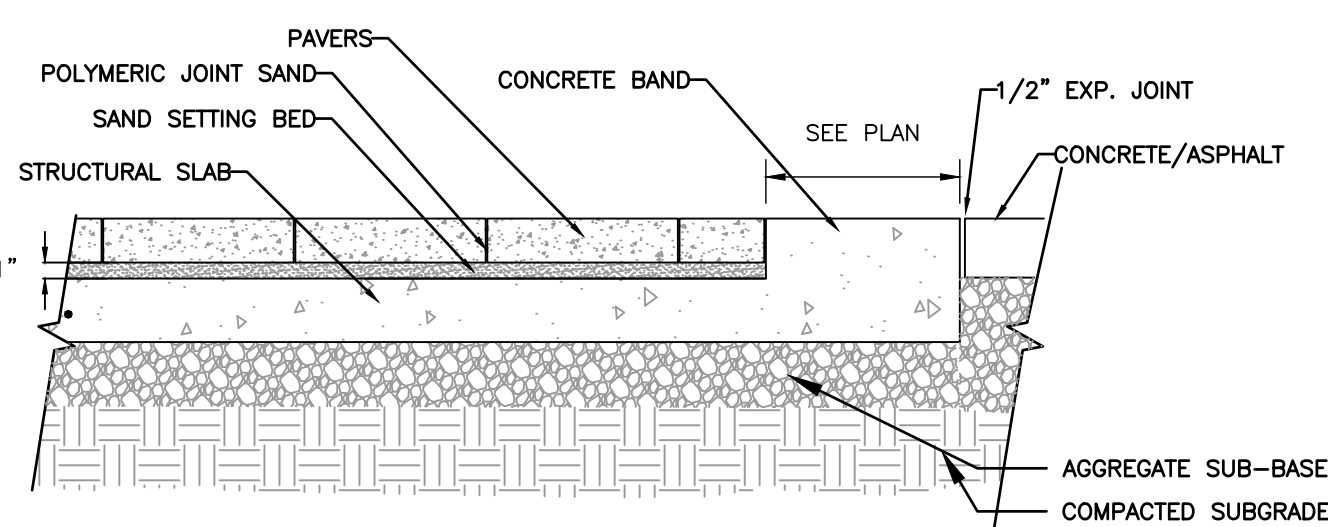


**DETAIL - 6" RAISED CONCRETE CURB PLANTER DETAIL**  
NOT TO SCALE

- NOTES:**
1. PROVIDE 1/2" PREMOLDED EXPANSION JOINT FILLER WITH SEALANT AT MAXIMUM INTERVALS OF 20' ON-CENTER.
  2. BITUMINOUS SEALANT SHALL BE ASPHALT CEMENT, CLASS AC-20.

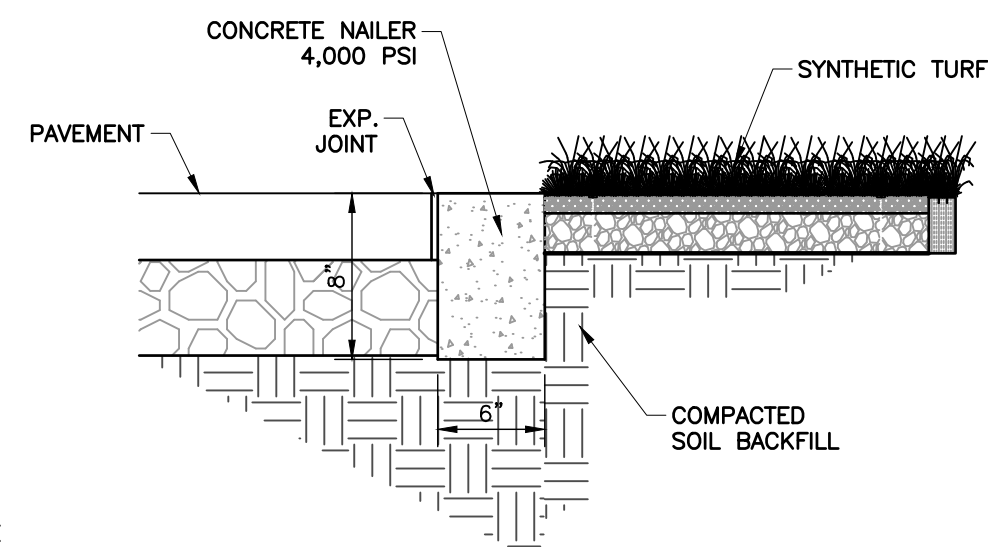


**DETAIL - CONCRETE WALL DETAIL**  
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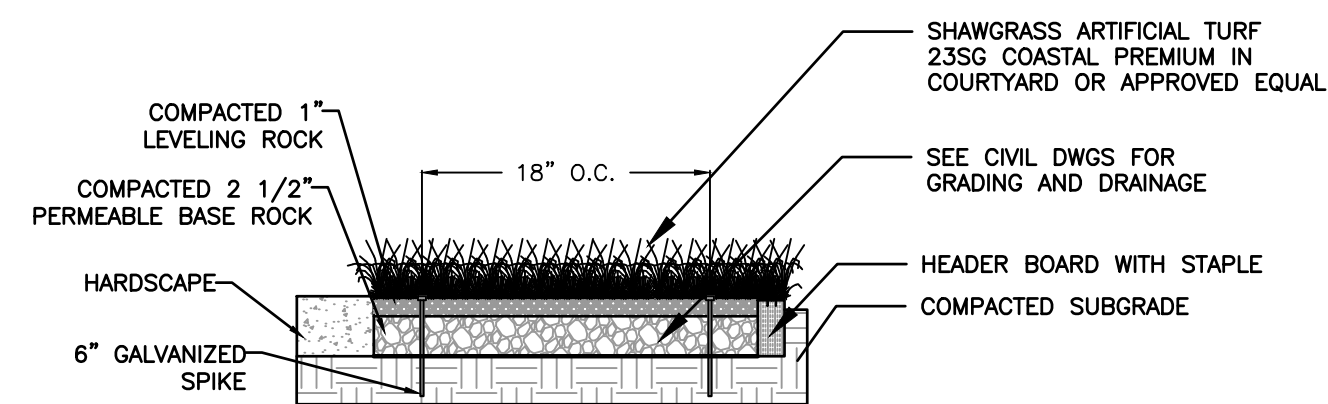


**PAVERS W/ CONCRETE BAND**

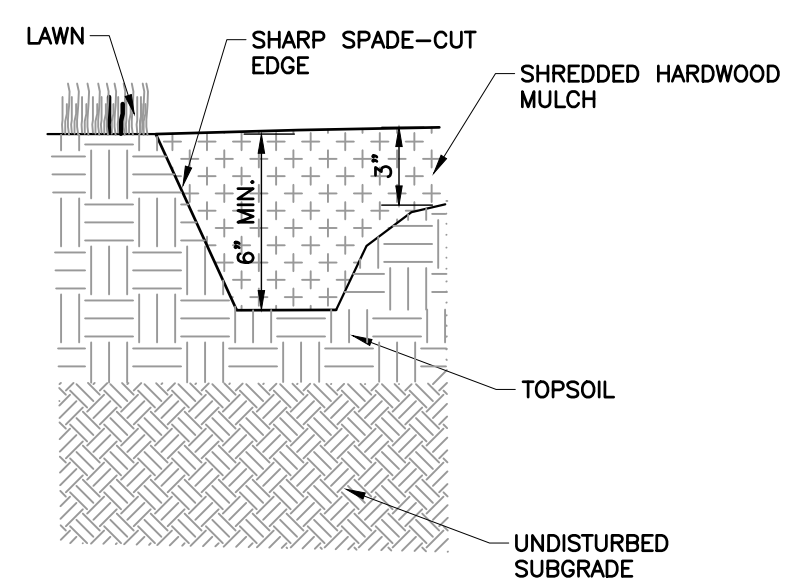
**DETAIL - PAVER DETAIL**  
NOT TO SCALE



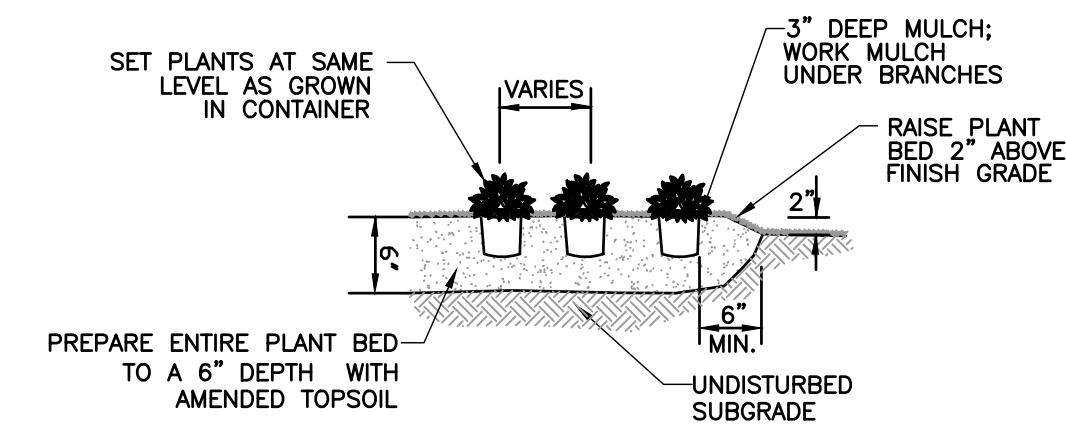
**DETAIL - CONCRETE CURB DETAIL**  
NOT TO SCALE



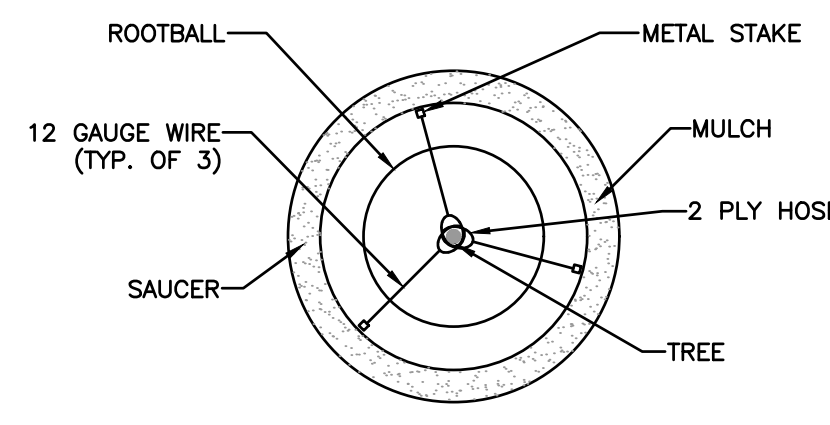
**DETAIL SYNTHETIC TURF**  
N.T.S.



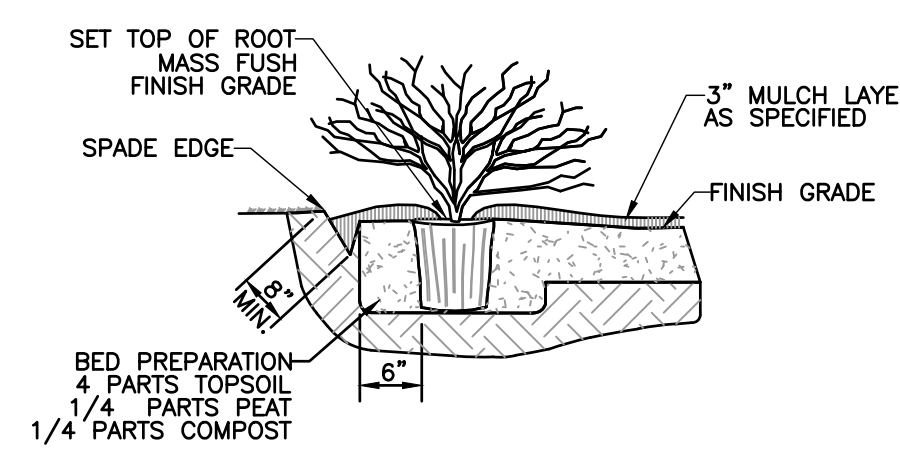
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NOT TO SCALE



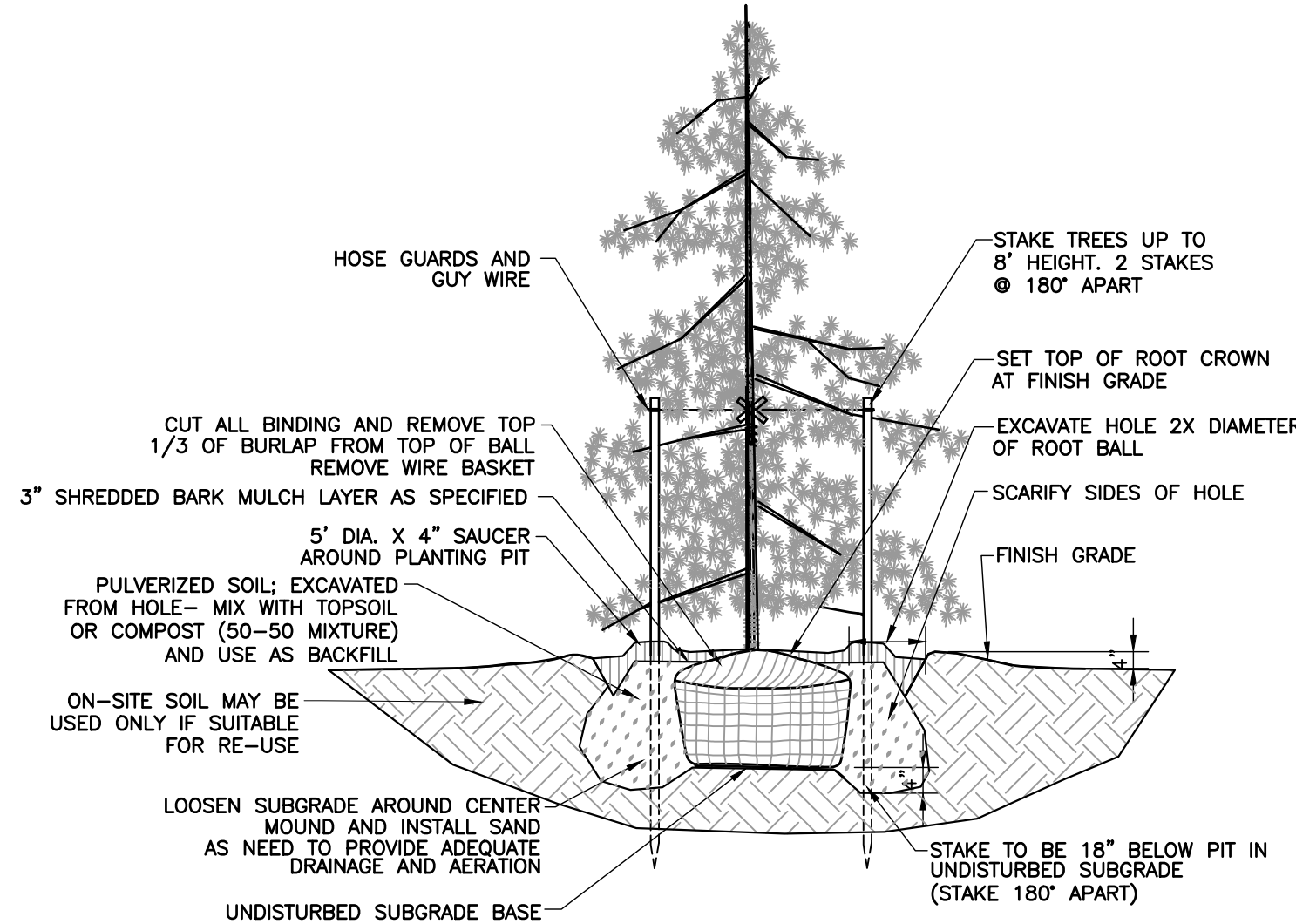
**DETAIL 704 - ORNAMENTAL GRASS/ PERENNIAL AND GROUNDCOVER PLANTING DETAIL**  
NOT TO SCALE



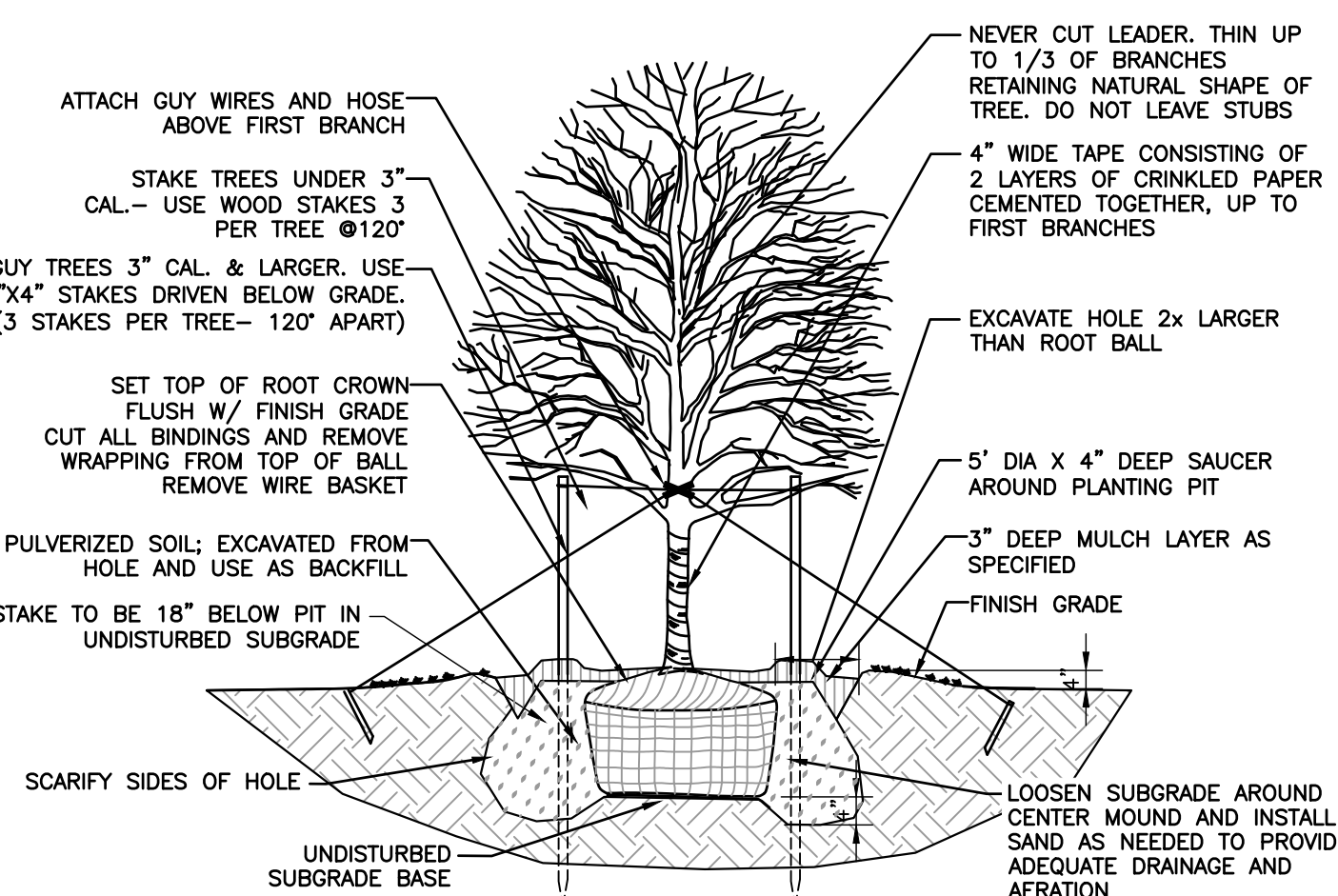
**DETAIL 703 - TREE STAKING DETAIL**  
NOT TO SCALE



**DETAIL 702 - SHRUB PLANTING DETAIL**  
NOT TO SCALE



**DETAIL 701 - EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



**DETAIL 700- SHADE TREE PLANTING DETAIL**  
NOT TO SCALE

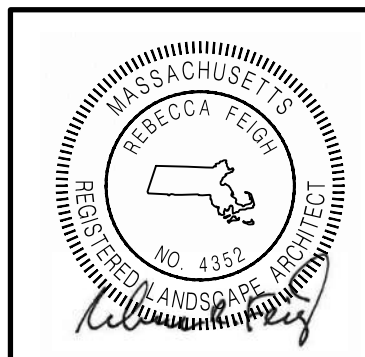
PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SIZE
○	AB	3	ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE 0.50	B&B	2.5" CAL.	
⊕	AG	23	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE APPLE SERVICEBERRY 0.40	B&B	CLUMP FORM	6' - 8' HT
⊙	JE	8	JUNIPERUS VIRGINIANA EASTERN REDCEDAR	B&B		5' - 6' HT.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPACING
⊙	AN	41	AMMOPHILA BREVILIGULATA 'CAPE' CAPE AMERICAN BEACHGRASS	2 GAL.		2.0' O.C.
✱	CP2	83	CAREX PLATYPHYLLA BROADLEAF SEDGE	2 GAL.		2.0' O.C.
⊙	CH	67	CLETHRA ALNIFOLIA 'HUMMINGBIRD' HUMMINGBIRD SUMMERSWEET	3 GAL.	18"-24" HT.	
⊕	DB	36	DASIPHORA FRUTICOSA 'ABBOTSWOOD' ABBOTSWOOD BUSH CINQUEFOIL	3 GAL.	18"-24" HT.	
⊕	DF	49	DASIPHORA FRUTICOSA 'PRIMROSE BEAUTY' PRIMROSE BEAUTY BUSH CINQUEFOIL	3 GAL.	18"-24" HT.	
⊕	DW	496	DESCHAMPSIA FLEXUOSA WAVY HAIR GRASS	2 GAL.		2.0' O.C.
⊕	HH	41	HEMEROCALLIS X 'HAPPY RETURNS' HAPPY RETURNS DAYLILY	1 GAL.		12" O.C.
⊕	HH3	17	HYDRANGEA MACROPHYLLA 'HORTMABLE' SEASIDE SERENADE® CAPE LOOKOUT HYDRANGEA	3 GAL.	18"-24" HT.	
⊕	HY	12	HYDRANGEA MACROPHYLLA 'HORTMAN' SEASIDE SERENADE® NEWPORT HYDRANGEA	3 GAL.	18"-24" HT.	
⊕	HL2	19	HYDRANGEA MACROPHYLLA 'HORTMAN' SEASIDE SERENADE® MARTHA'S VINEYARD HYDRANGEA	3 GAL.	18"-24" HT.	
⊕	HH2	27	HYPERICUM PATULUM 'HIDCOTE' HIDCOTE ST. JOHN'S WORT	3 GAL.	18"-24" HT.	
⊕	IS	138	ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY HOLLY	5 GAL.		
⊕	MM	52	MYRICA PENNSYLVANICA 'MORTON' SILVER SPRITE BAYBERRY	5 GAL.	24" HT.	
✱	PN2	213	PANICUM VIRGATUM 'NORTHWIND' NORTHWIND SWITCH GRASS	2 GAL.		2.5' O.C.
⊕	PS2	126	PANICUM VIRGATUM 'SHENANDOAH' SHENANDOAH SWITCH GRASS	2 GAL.		2.5' O.C.
⊕	PM	50	PRUNUS MARITIMA BEACH PLUM	5 GAL.	24" HT.	
⊕	RG	56	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	5 GAL.	18"-24" HT.	
⊕	RV	77	ROSA VIRGINIANA VIRGINIA ROSE	3 GAL.	18"-24" HT.	
⊕	SL	52	SCHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM	2 GAL.		3' O.C.
⊕	SN	33	SORGHASTRUM NUTANS INDIAN GRASS	2 GAL.		2.0' O.C.
✱	SH	90	SPOROBOLUS HETEROLEPIS PRAIRIE DROPSSEED	2 GAL.		1.5' O.C.
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
⊕	AB3	89	AMSONIA TABERNAEMONTANA 'BLUE ICE' BLUE ICE EASTERN BLUESTAR	1 GAL.		

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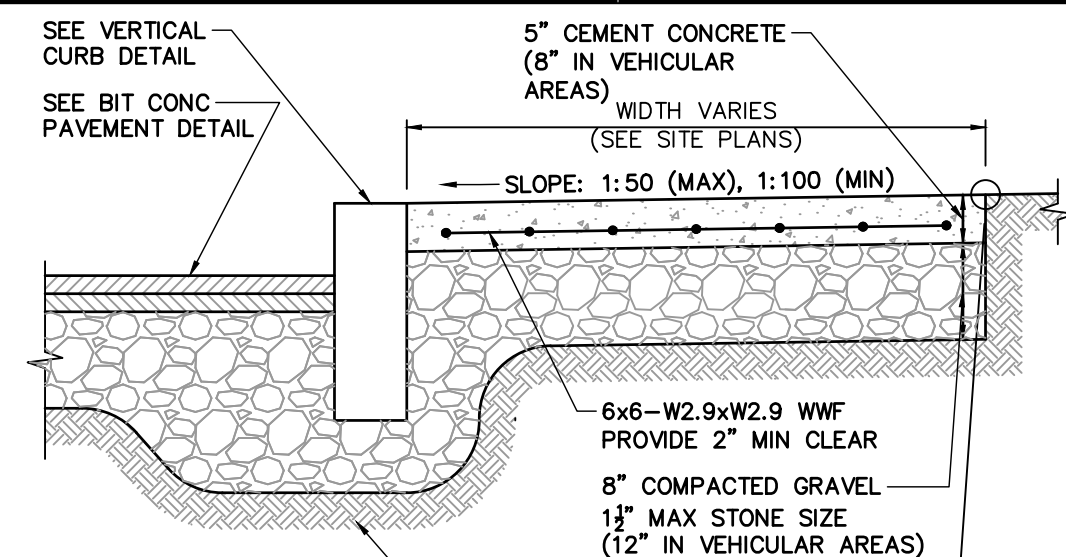
**LANDSCAPE DETAILS**

DRAWING NO. **C705**  
DATE: OCTOBER 10, 2025  
DWG SCALE: 1"=20'  
PROJECT NO: 11-20  
DRAWN BY: CJV  
CHECKED BY: KPS  
APPROVED BY: KPS

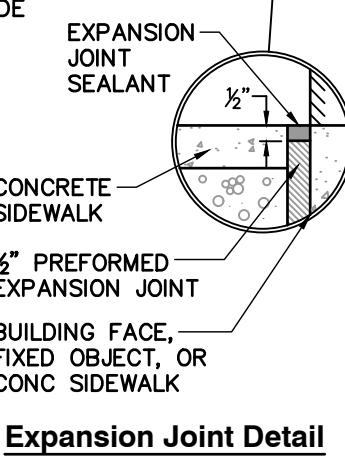


SHEET 24 OF 27



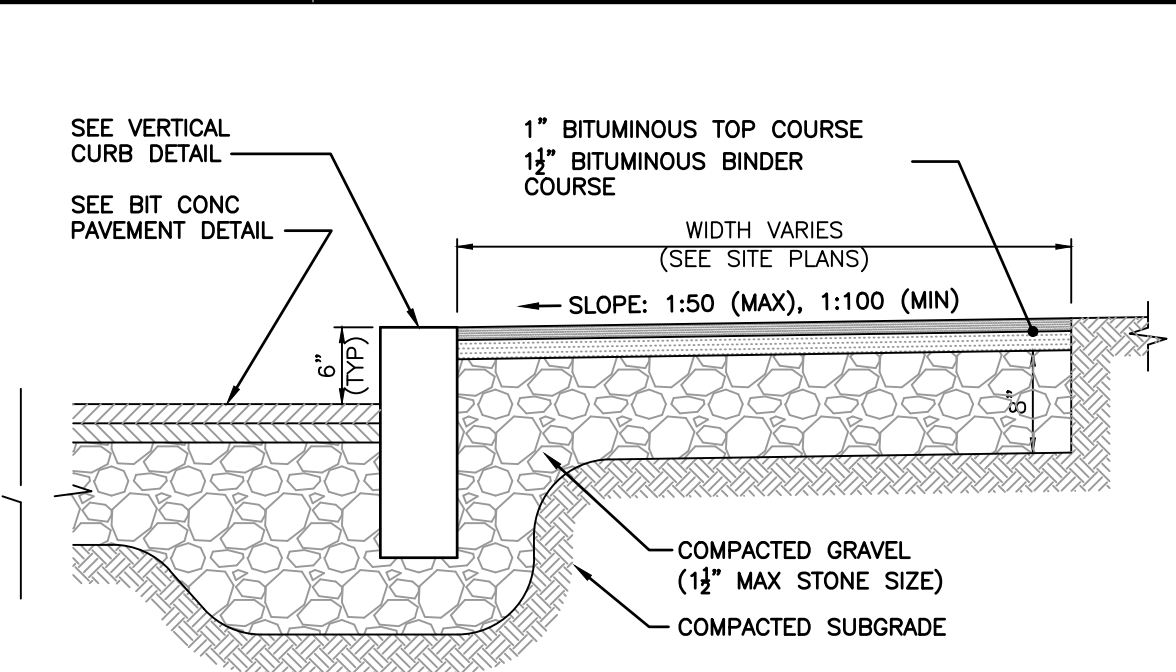


- NOTES:**
- CEMENT CONCRETE SHALL BE 4,000 PSI-TYPE II.
  - PROVIDE EXPANSION JOINTS AT A MINIMUM 30 FEET ON-CENTER WITH PRE-FORMED EXPANSION JOINT FILLER AND SEALANT.
  - PROVIDE TOOLED CONTROL JOINTS AT A MINIMUM SIX (6) FEET ON-CENTER.
  - PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
  - FOR ACCESSIBLE ROUTES, SIDEWALKS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN.
  - FOR ACCESSIBLE ROUTES, THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:50 OR LESS THAN 1:100.
  - FOR ACCESSIBLE ROUTES, WHERE THE SIDEWALK IS LESS THAN FIVE (5) FEET IN WIDTH, EXCLUDING CURBING, A 5' X 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
  - FOR ACCESSIBLE ROUTES, A MINIMUM CLEARANCE OF THREE (3) FEET SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE; HYDRANTS, UTILITY POLES, SIGN POSTS, ETC.



**CONCRETE SIDEWALK**

N.T.S.

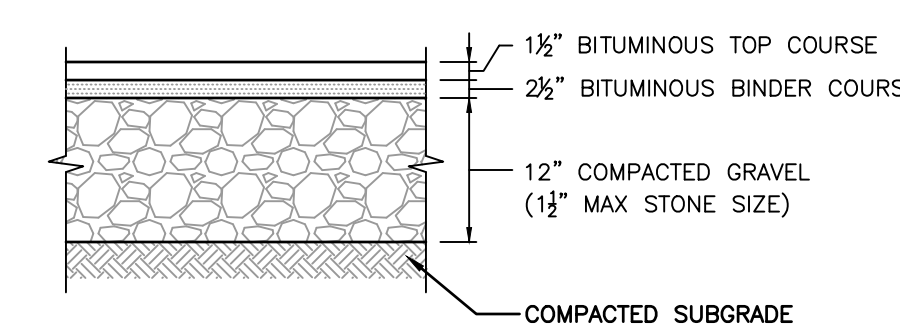


**CONSTRUCTION NOTES**

- FOR ACCESSIBLE ROUTES, SIDEWALKS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) RULES AND REGULATIONS (521 CMR).
- FOR ACCESSIBLE ROUTES, THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:50 OR LESS THAN 1:100.
- FOR ACCESSIBLE ROUTES, WHERE THE SIDEWALK IS LESS THAN FIVE (5) FEET IN WIDTH, EXCLUDING CURBING, A 5' X 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- FOR ACCESSIBLE ROUTES, A MINIMUM CLEARANCE OF THREE (3) FEET SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE; HYDRANTS, UTILITY POLES, SIGN POSTS, ETC.

**BITUMINOUS CONCRETE SIDEWALK**

N.T.S.



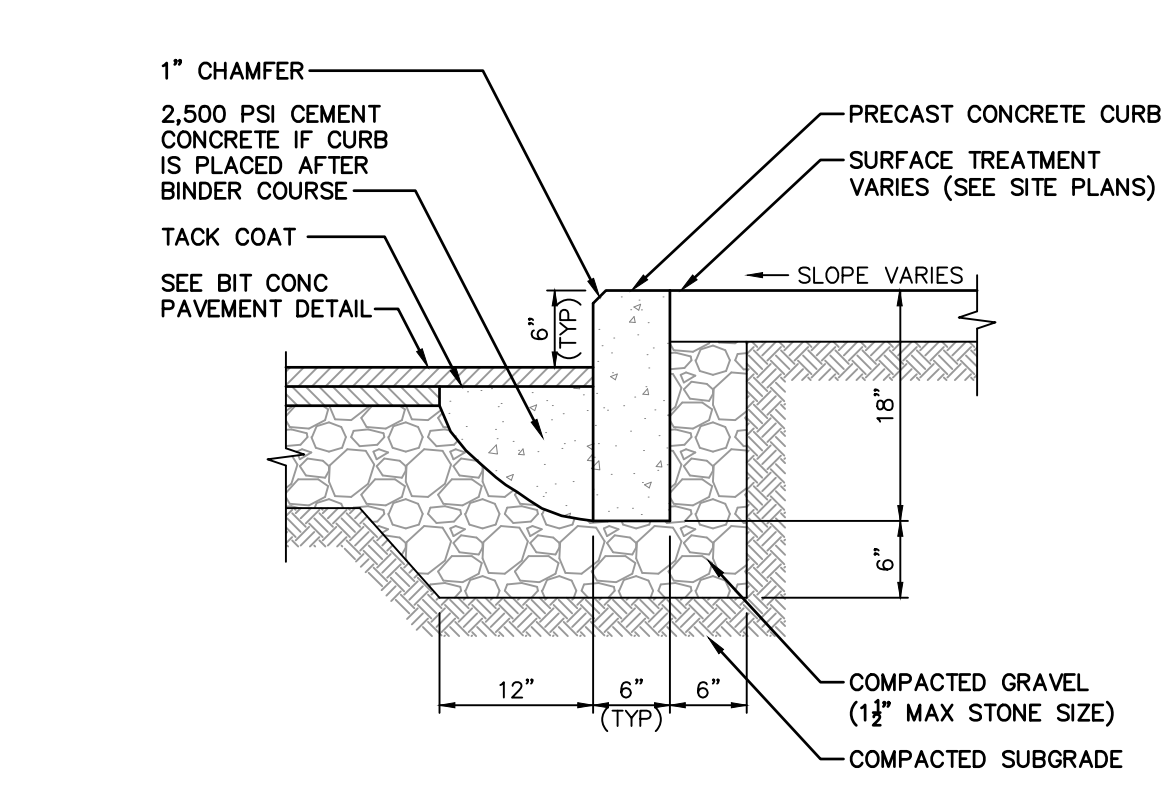
**STANDARD DUTY FLEXIBLE PAVEMENT**

**CONSTRUCTION NOTES**

- PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

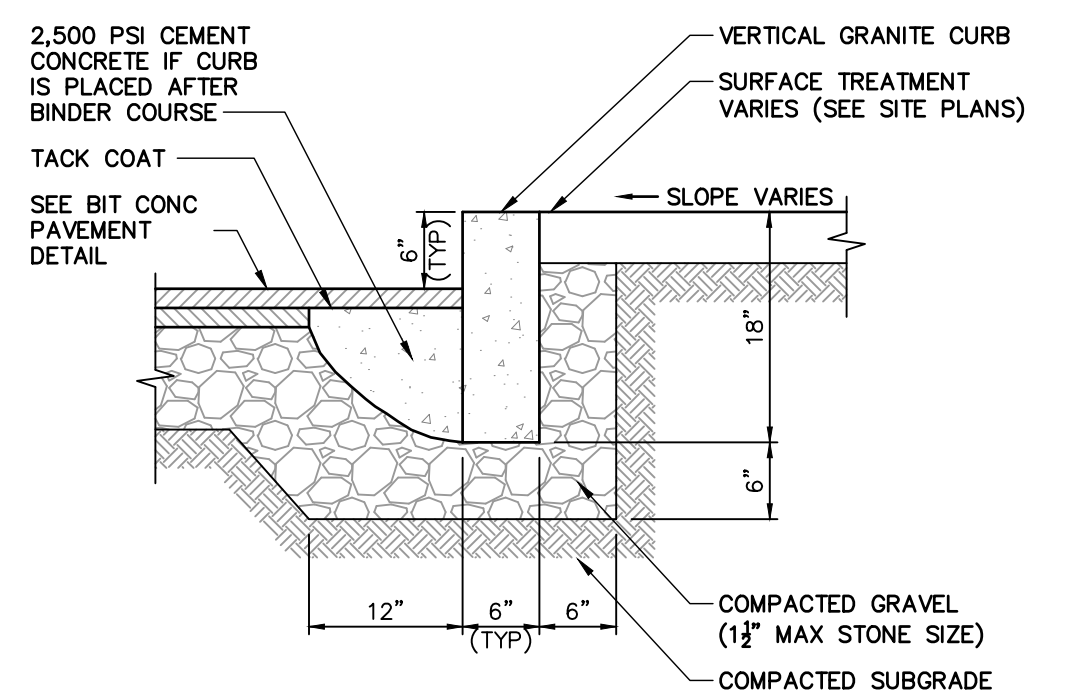
**BITUMINOUS CONCRETE PAVEMENT**

N.T.S.



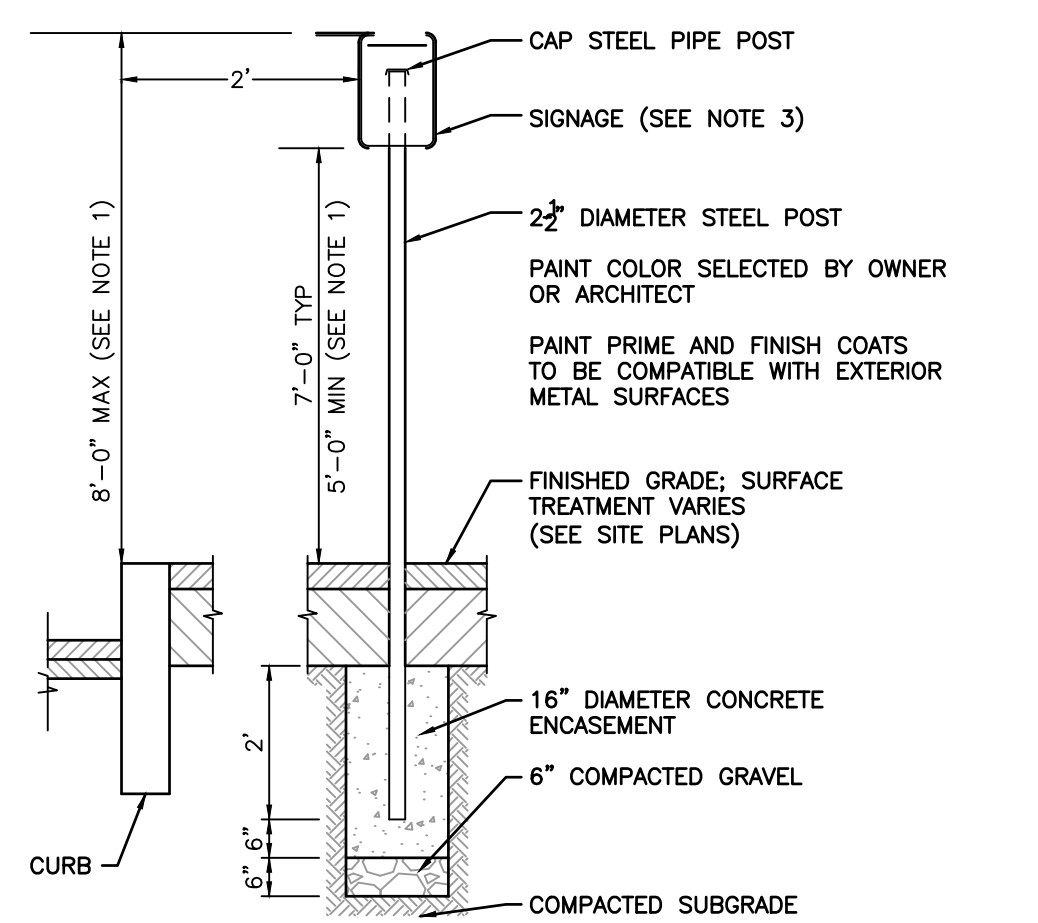
**PRECAST CONCRETE CURB**

N.T.S.



**VERTICAL GRANITE CURB**

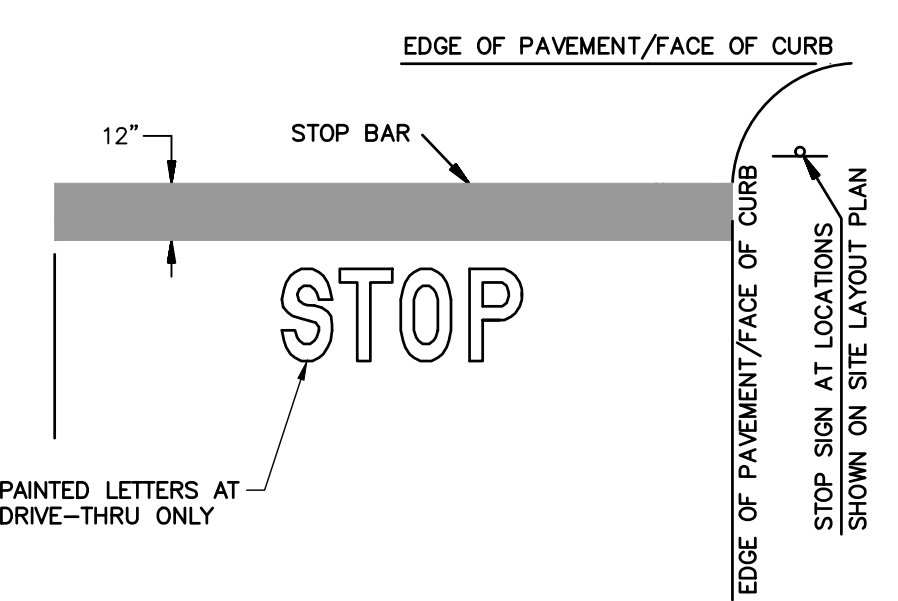
N.T.S.



- CONSTRUCTION NOTES**
- FOR ACCESSIBLE SIGNAGE, DIMENSION SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) RULES AND REGULATIONS (521 CMR).
  - SIGNS AND POSTS SHALL BE PER TOWN OF HULL STANDARDS IF THE STANDARDS DIFFER FROM THE DETAIL DEPICTED HEREON.
  - SIGNAGE SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).

**SIGN POST**

N.T.S.

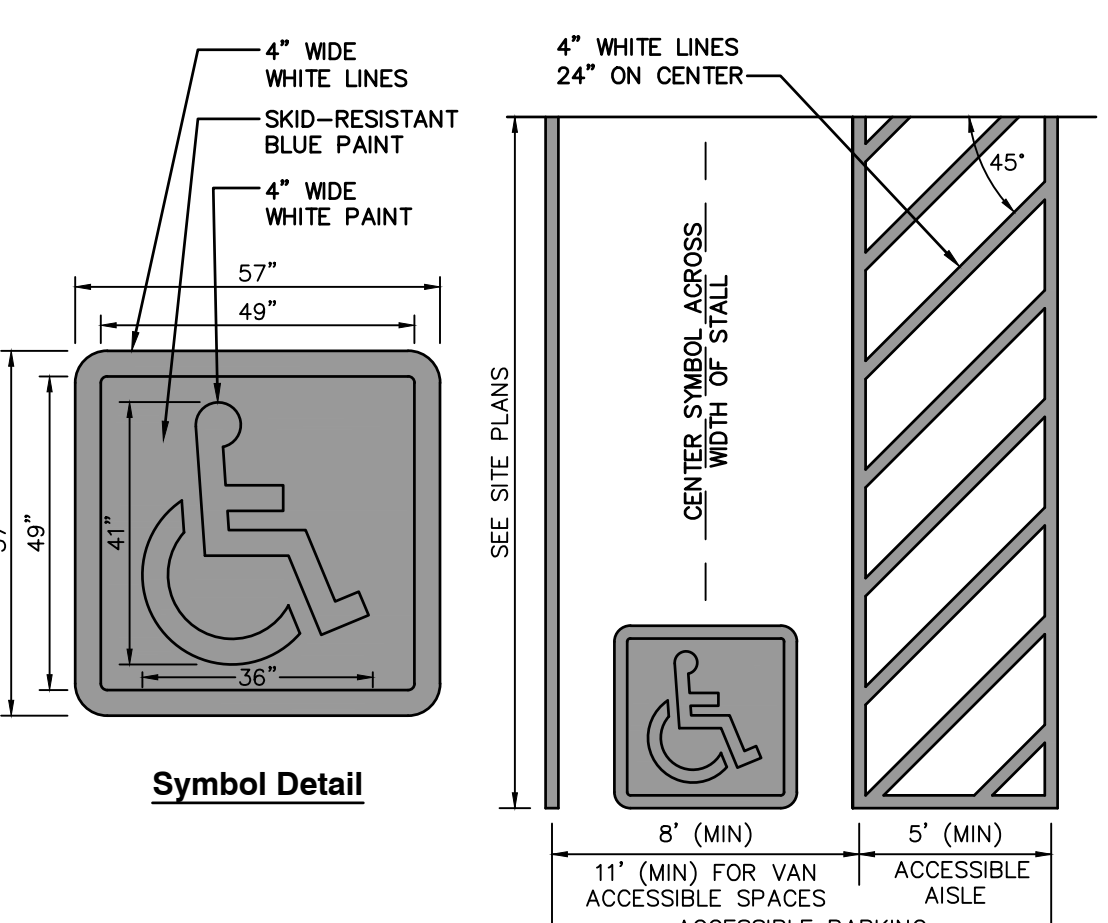


**CONSTRUCTION NOTES:**

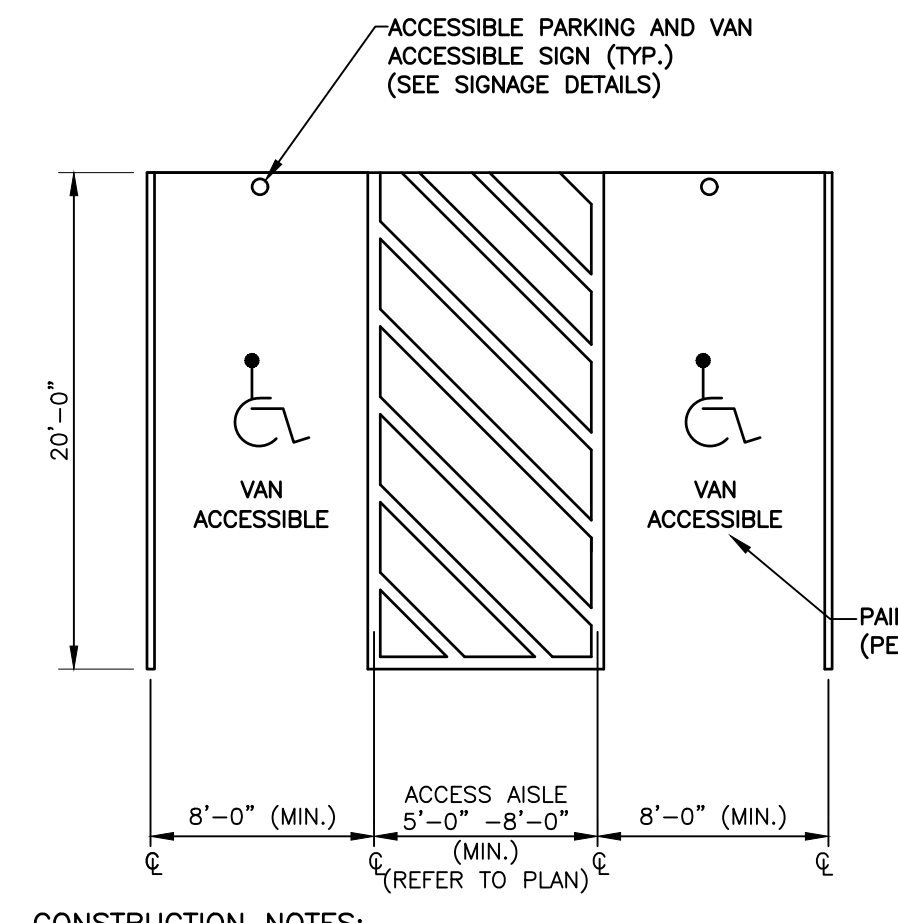
- SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 36". SIGN PANELS SHALL BE 0.100 ALUMINUM WITH RAISED OR SILKSCREEN COPY.
- FOR POST MOUNTING, USE NON-CORROSIVE 3/8" 2. MACHINE BOLTS W/ WASHERS, 2 PER SIGN; OR IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- FOR WALL MOUNTING, USE NON-CORROSIVE 3/8" LAG BOLTS W/ LEAD EXPANSION SHIELD, 4 PER SIGN.
- ALL TRAFFIC CONTROL SIGNS, SIGN POSTS, AND SIGN HARDWARE SHALL SATISFY THE REQUIREMENTS OF MASS DOT STANDARD SPECIFICATIONS.
- ALL ACCESSIBLE PARKING SIGNAGE IS TO BE INSTALLED WITH THE BOTTOM EDGE OF THE LOWEST SIGN AT LEAST 60" ABOVE FINISHED GRADE.
- FINE AMOUNT SHALL BE DISPLAYED IN ACCORDANCE WITH LOCAL LAW. THE AMOUNT SHOWN HEREON IS REPRESENTATIVE ONLY. COORDINATE POSTING OF FINE AMOUNT WITH LOCAL LAW ENFORCEMENT AGENCY.
- STOP BAR MUST BE PAINTED WHITE.

**SIGNS**

N.T.S.



**Symbol Detail**

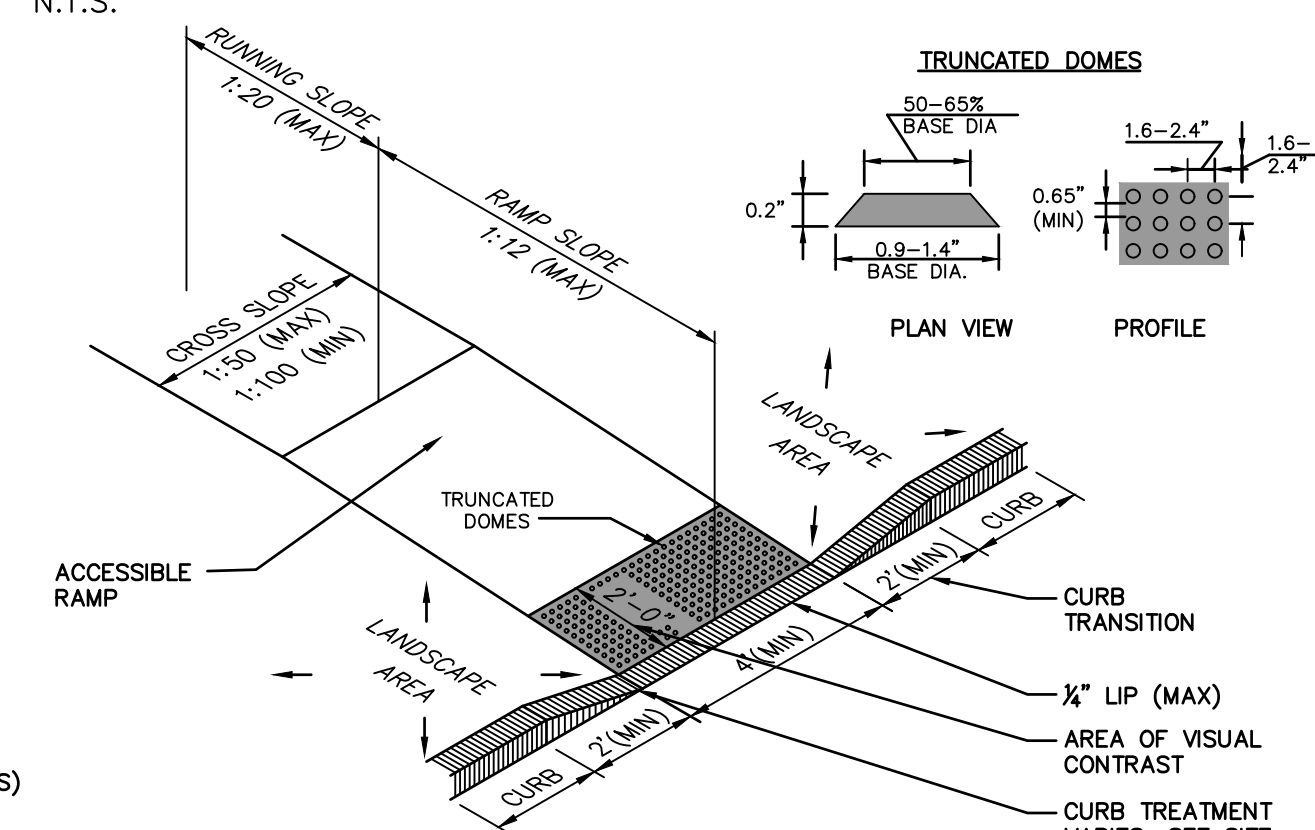


**CONSTRUCTION NOTES:**

- ALL STRIPING FOR ACCESSIBLE PARKING STALLS AND ACCESS AISLES SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
- ALL STRIPING FOR STANDARD PARKING SPACES TO BE 4" WIDE PAINTED STRIPES.
- SEE SHEET LAYOUT PLAN FOR ACCESSIBLE STALL LOCATIONS.
- ALL PARKING STALLS AND CROSSHATCH PAINT STRIPING SHALL BE COLOR WHITE.
- ACCESS ISLE MUST BE 5'-0" (MIN.) FOR NON-VAN ACCESSIBLE STALLS.

**ACCESSIBLE PARKING STALL MARKING**

N.T.S.

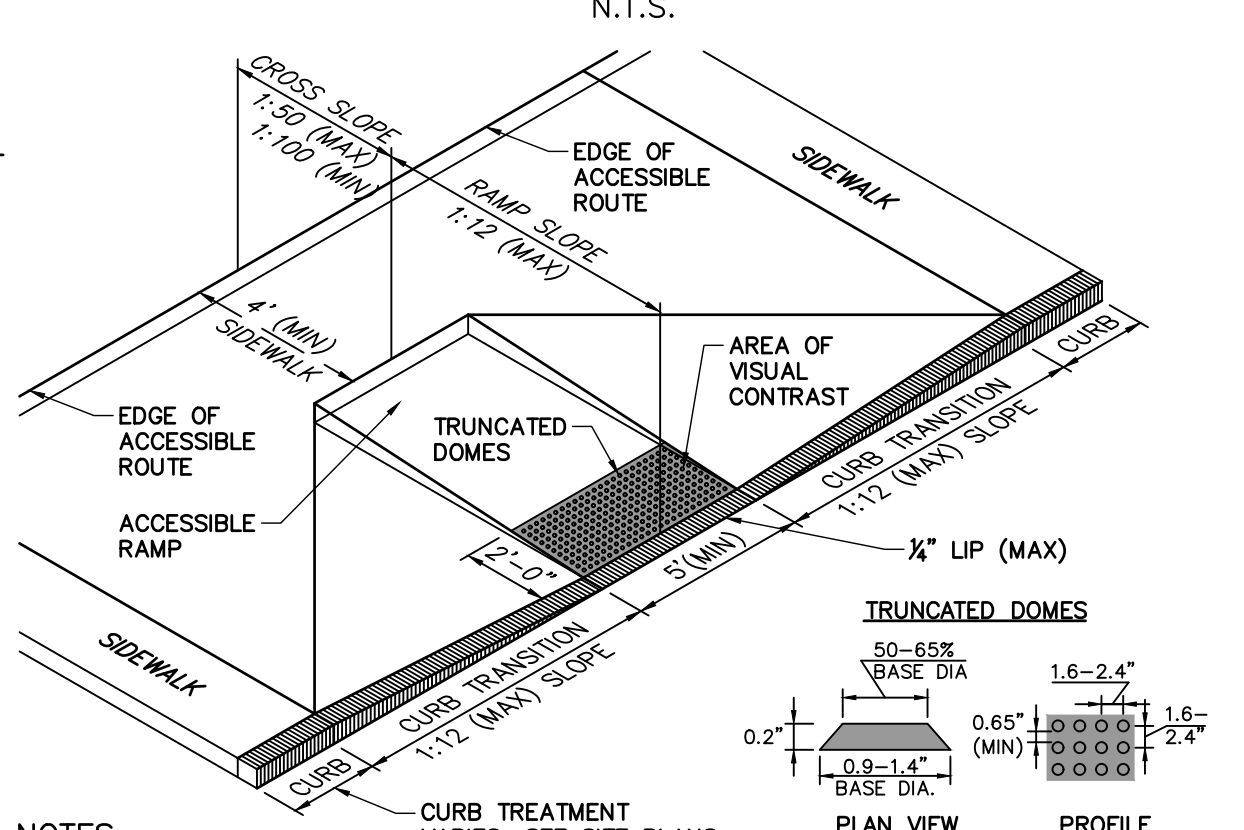


**NOTES**

- CURB RAMPS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) RULES AND REGULATIONS (521 CMR).
- THE RUNNING SLOPE OF CURB RAMPS SHALL NOT BE GREATER THAN 1:12. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:20. THE CROSS SLOPE OF CURB RAMPS AND WALKING SURFACES SHALL NOT BE GREATER THAN 1:50 OR LESS THAN 1:100.
- LANDINGS SHALL BE PROVIDED AT THE TOPS OF CURB RAMPS. THE LANDING CLEAR LENGTH SHALL BE 36 INCHES (3 FEET) MINIMUM. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING.
- COUNTER SLOPES OF ADJOINING SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20.
- DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES AND BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

**ACCESSIBLE CURB RAMP (TYPE "E")**

N.T.S.

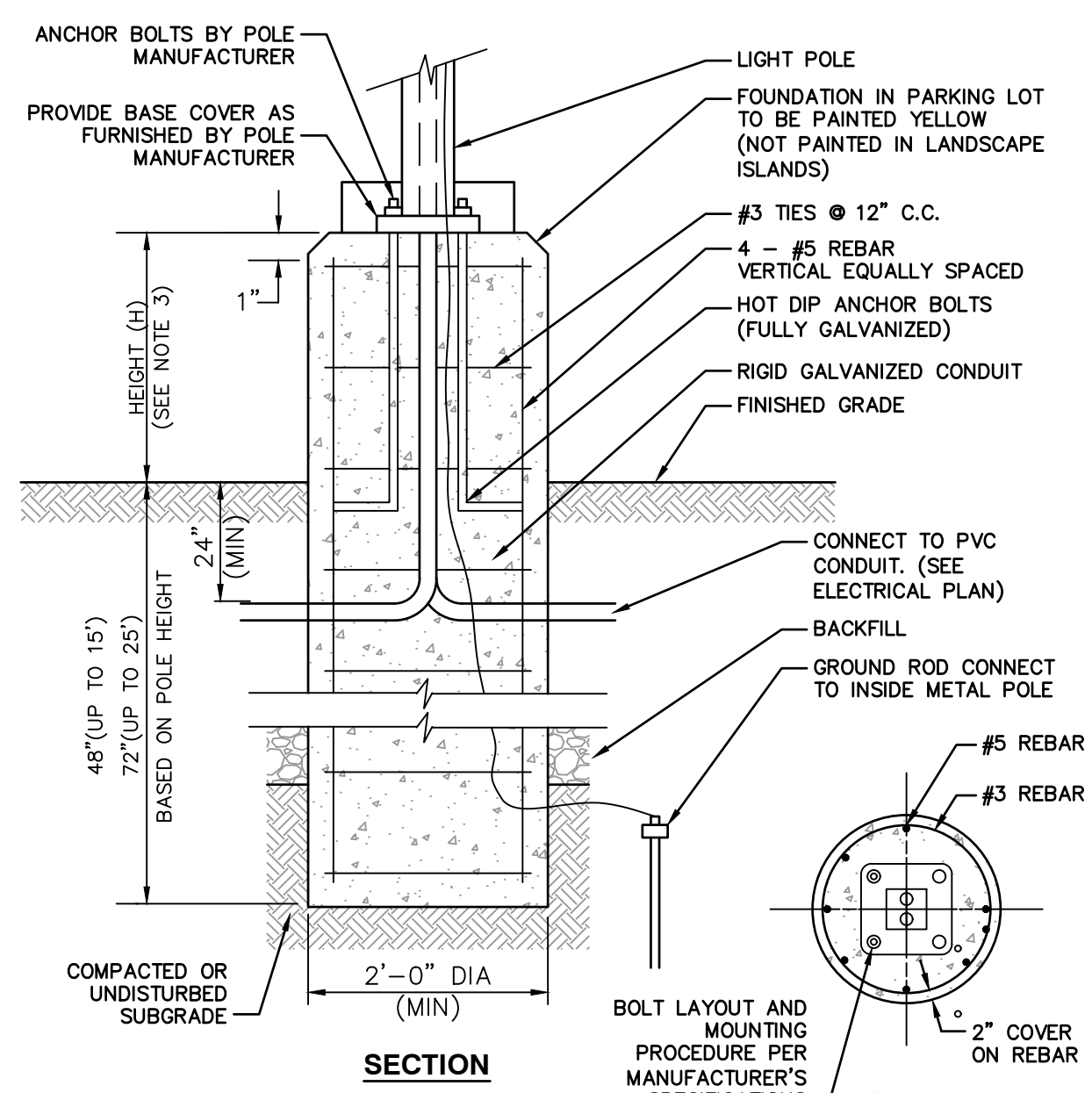


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- COUNTER SLOPES OF ADJOINING SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20.
- DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES AND BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

**ACCESSIBLE CURB RAMP (TYPE "D")**

N.T.S.



**SECTION**

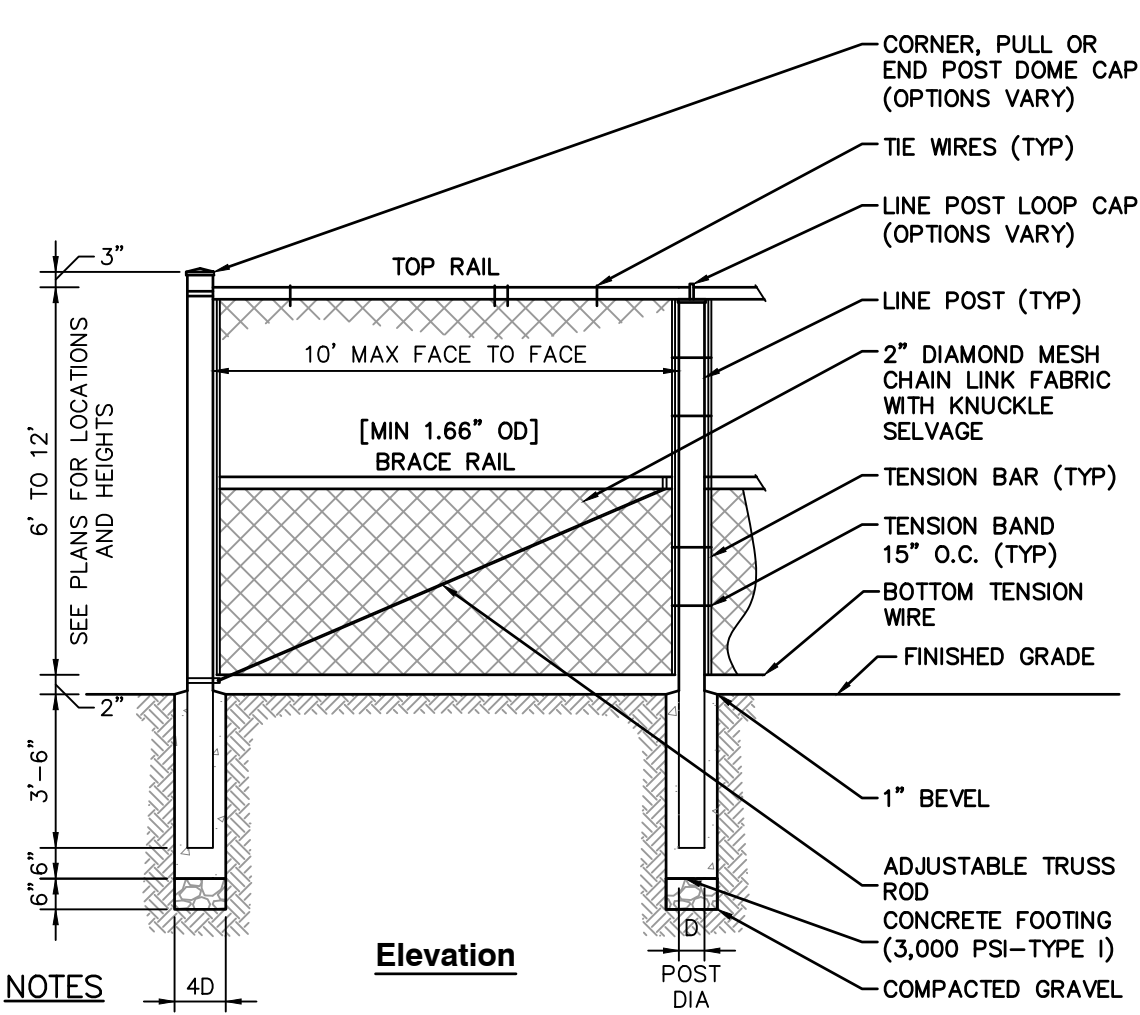
**PLAN**

**CONSTRUCTION NOTES**

- LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE HEIGHT AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATIONS.
- LIGHT POLE FOUNDATION TO BE PRECAST CONCRETE, MINIMUM 4,000 PSI. UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC.
- HEIGHT (H) OF FOUNDATION ABOVE FINISHED GRADE TO BE 6 INCHES IN LANDSCAPED AREAS, 30 INCHES IN VEHICULAR AREAS, AND FLUSH IN SIDEWALKS.

**LIGHTPOLE FOUNDATION DETAIL**

N.T.S.



**NOTES**

- FENCE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THE CHAIN LINK FENCE MANUFACTURERS INSTITUTE PRODUCT MANUAL.
- POSTS SHALL MAINTAIN A MINIMUM DEPTH OF 3'-6" IN GROUND AND SHALL NOT BE RACKED TO ACCOMMODATE CHANGES IN GRADE.
- LINE OF FENCE, TOP AND BOTTOM, SHALL BE INSTALLED STRAIGHT AND TRUE. POSTS SHALL BE INSTALLED PARALLEL AND PLUMB. RAILS SHALL BE INSTALLED PARALLEL TO GROUND SURFACE AND EACH OTHER.

**6-12" CHAIN LINK FENCE**

N.T.S.

**SUBMITTAL & REVISION RECORD**

NO.	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION

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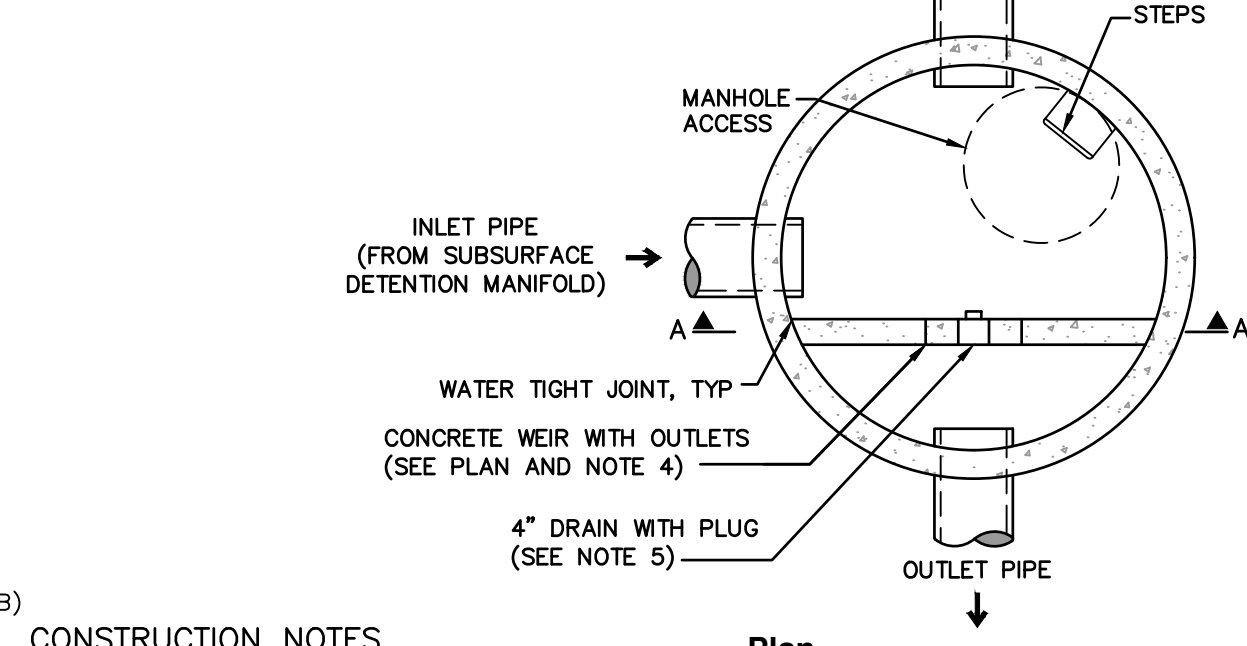
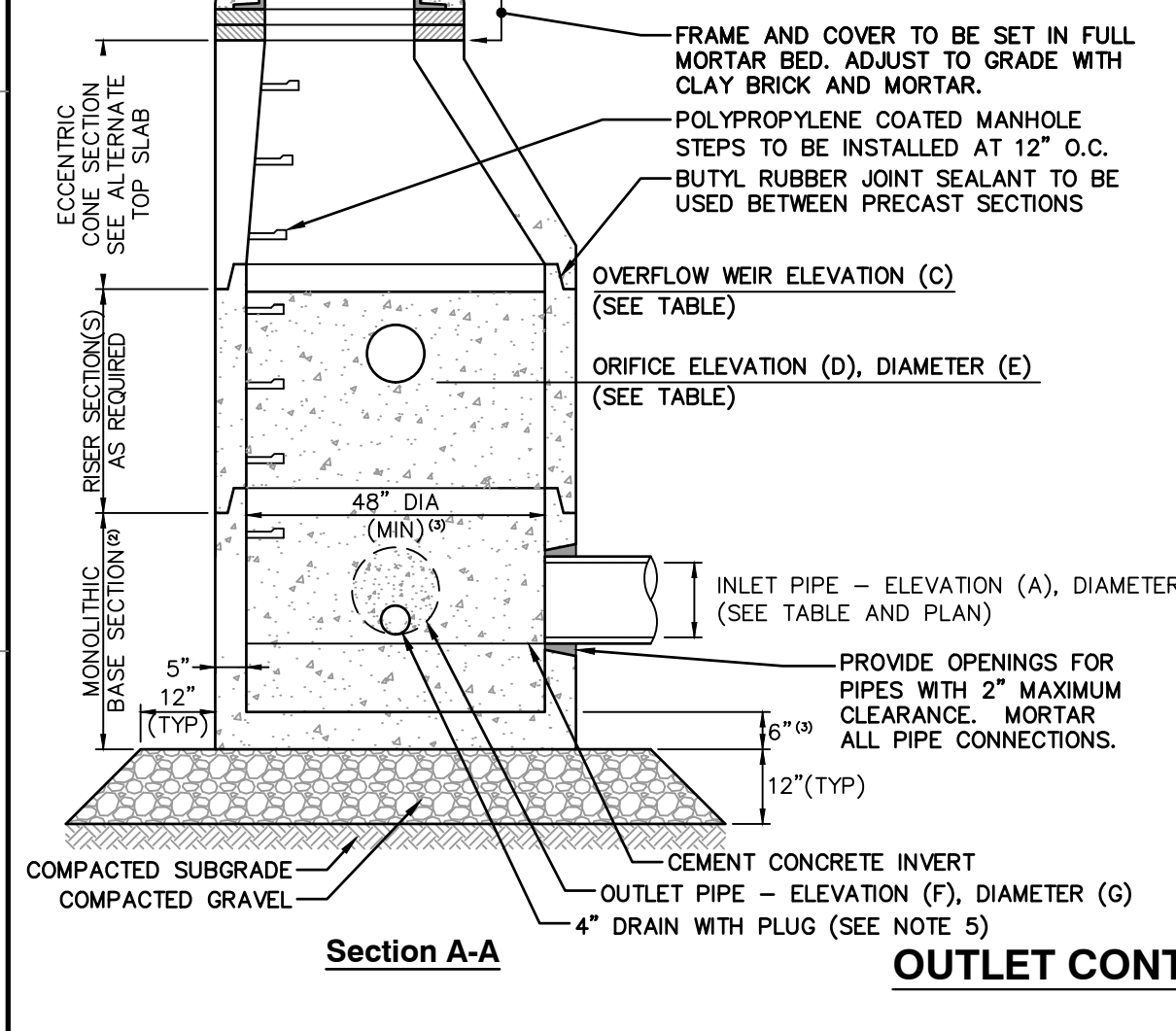
**PARAGON DUNES MIXED-USE REDEVELOPMENT**  
 189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD  
 HULL, MASSACHUSETTS

**SITE DETAILS**

DATE: OCTOBER 10, 2023 DRAWN BY: CJV  
 DWG SCALE: AS SHOWN CHECKED BY: KPS  
 PROJECT NO: 334-762 APPROVED BY: KPS



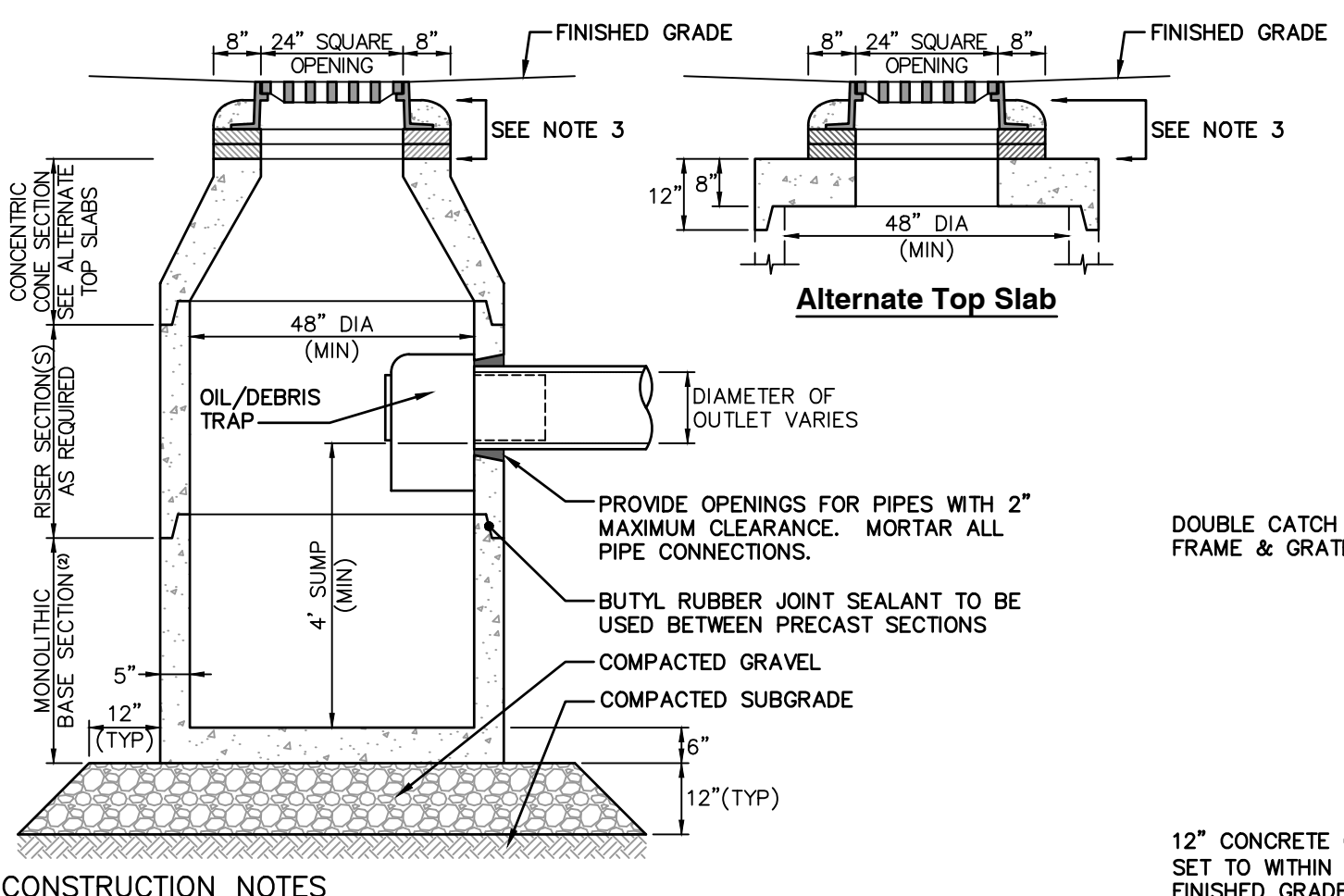
OUTLET CONTROL STRUCTURE	INLET PIPE		OVERFLOW WEIR	ORIFICE			OUTLET PIPE	
	(A) INVERT EL.	(B) DIAMETER	(C) INVERT EL.	(D) INVERT EL.	(E) DIAMETER	(F) INVERT EL.	(G) DIAMETER	
OCS B19	5.50	12"	7.25	5.90	8"	5.50	12"	
OCS A11	5.00	12"	6.75	-	-	5.00	12"	
OCS A12	5.00	12"	6.50	-	-	5.00	12"	
OCS C3	5.50	12"	6.00	-	-	5.50	12"	



**CONSTRUCTION NOTES**

- STRUCTURE TO BE PRECAST CONCRETE, MINIMUM 4,000 PSI. ALL SECTIONS TO BE DESIGNED TO MEET OR EXCEED HS-20 LOADING.
- BASE TO BE SINGLE POUR MONOLITHIC SECTION.
- 60" (5'-0") INSIDE DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET. 6" MINIMUM WALL THICKNESS AND 7" MINIMUM BASE THICKNESS FOR 5'-0" DIAMETER PRECAST MANHOLE.
- SEE PLANS FOR WEIR ELEVATIONS AND CONFIGURATIONS.
- PLUG SHALL CONSIST OF A 4" PVC PIPE WITH A THREADED PLUG.

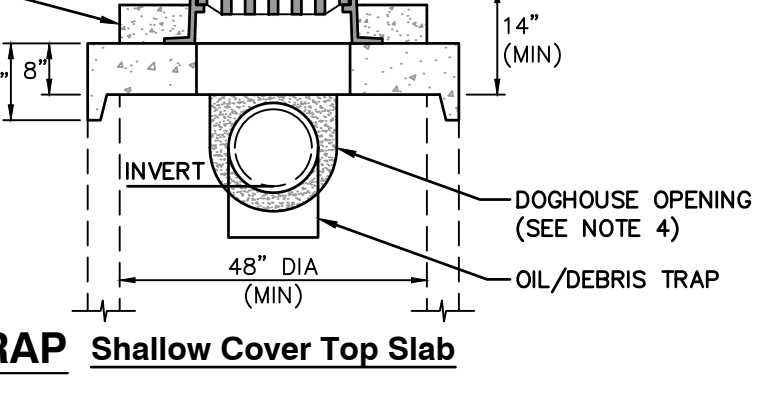
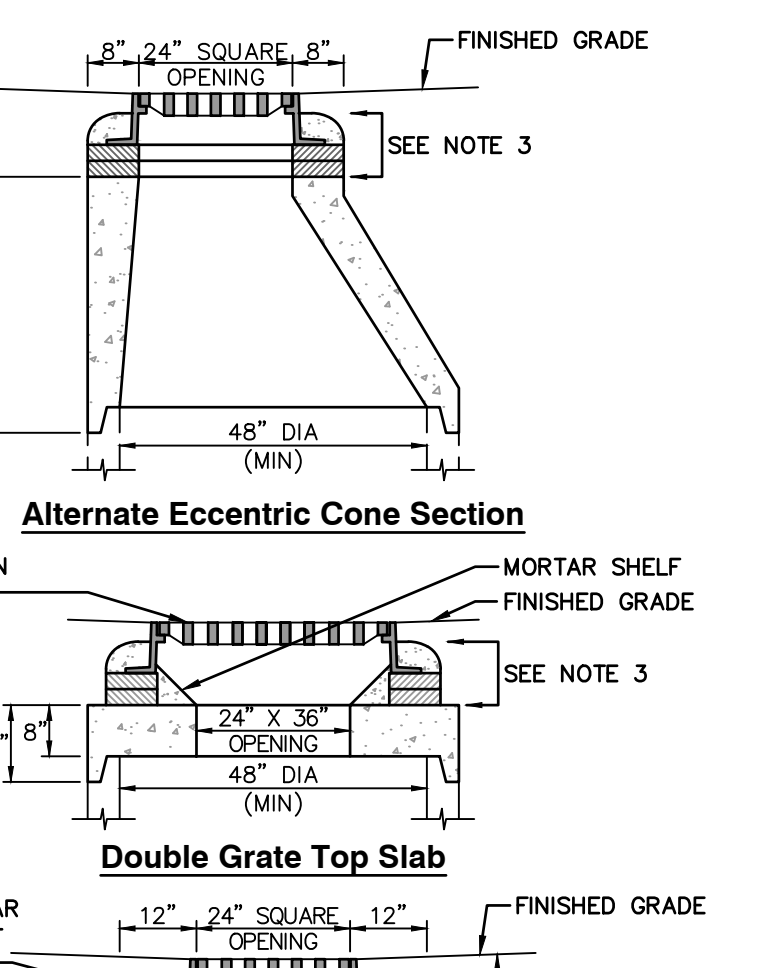
**OUTLET CONTROL STRUCTURE**  
N.T.S.



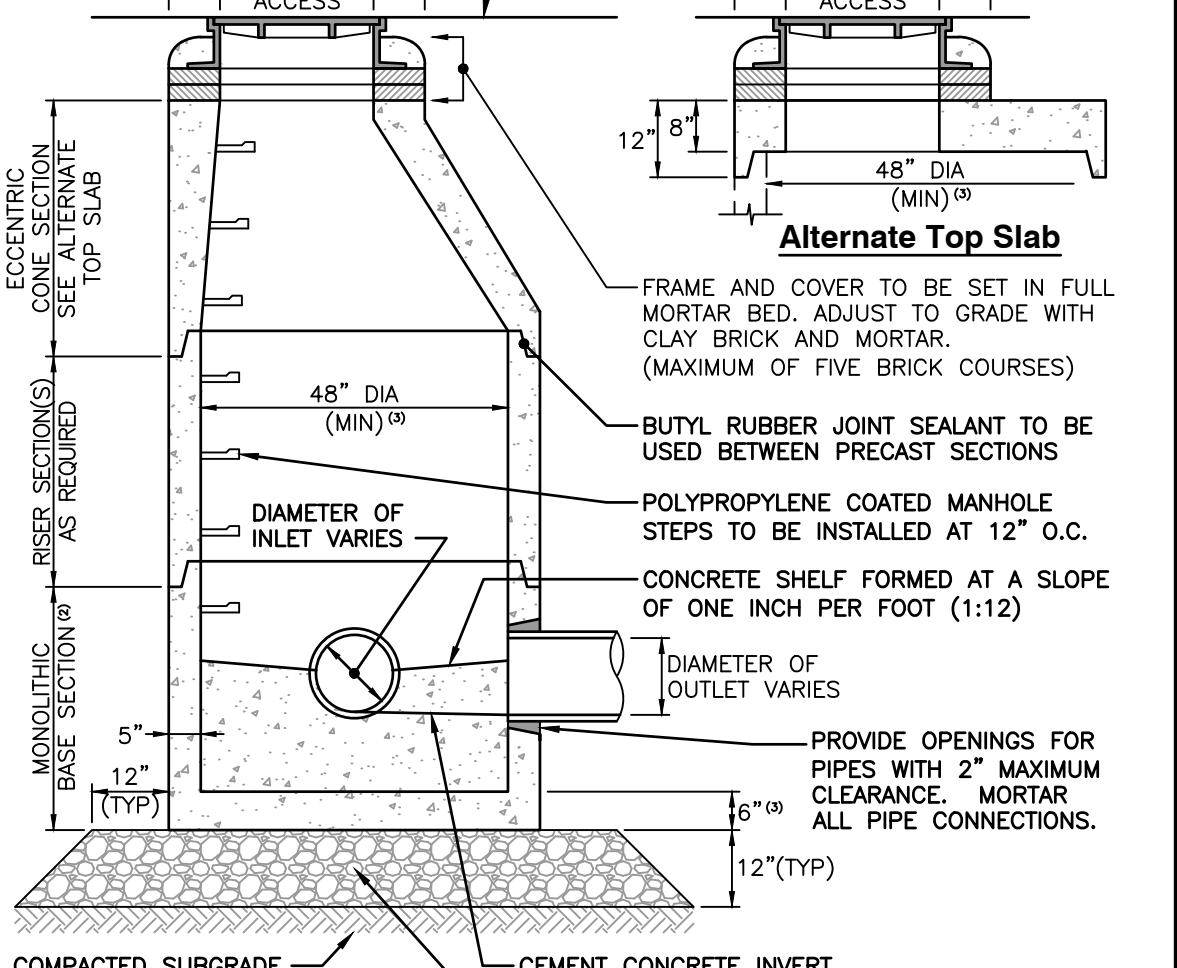
**CONSTRUCTION NOTES**

- STRUCTURE TO BE PRECAST CONCRETE, MINIMUM 4,000 PSI. ALL SECTIONS TO BE DESIGNED TO MEET OR EXCEED HS-20 LOADING.
- BASE TO BE SINGLE POUR MONOLITHIC SECTION.
- FRAME AND GRATE TO BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR. MAXIMUM OF FIVE BRICK COURSES.
- PROVIDE DOGHOUSE OPENING FOR PIPES WITH 2" MAXIMUM CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON THE PIPE. GROUT ALL CONNECTIONS WITH NON-SHRINK GROUT.

**CATCH BASIN WITH OIL/DEBRIS TRAP**  
N.T.S.



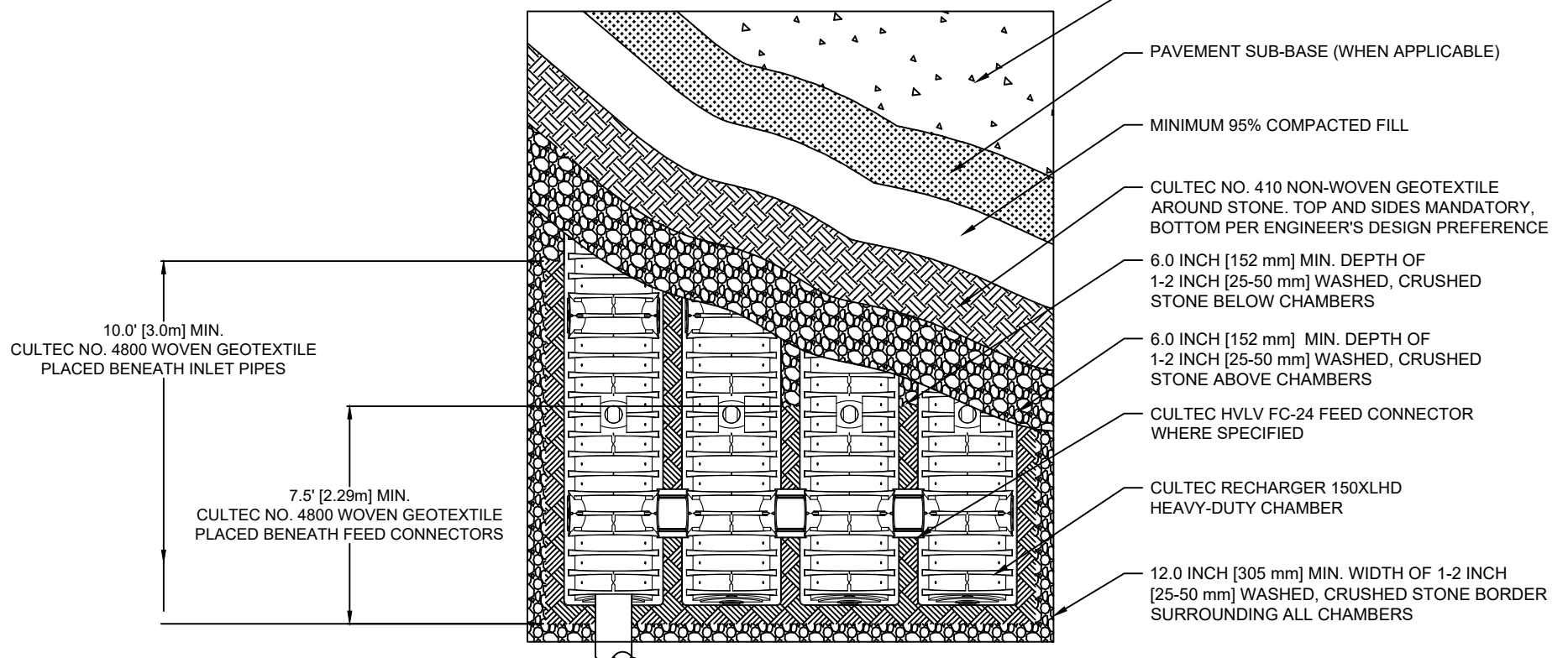
**Shallow Cover Top Slab**  
N.T.S.



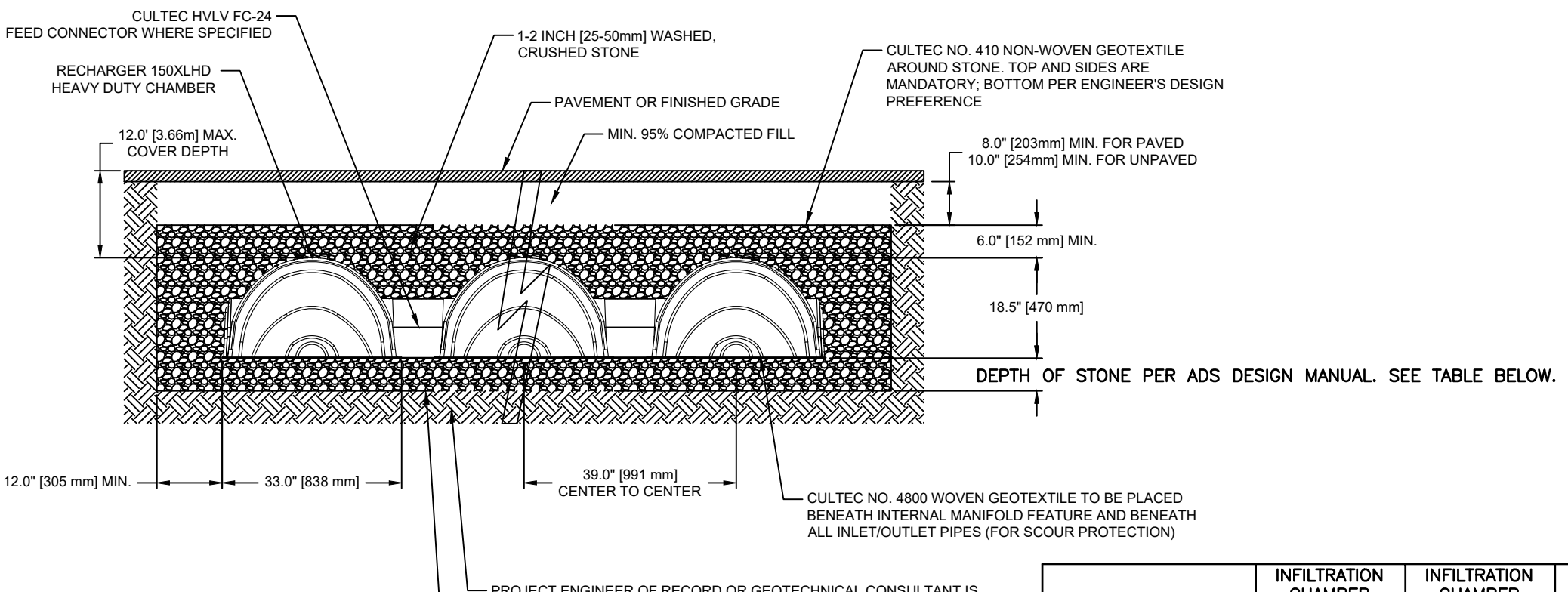
**CONSTRUCTION NOTES**

- STRUCTURE TO BE PRECAST CONCRETE, MINIMUM 4,000 PSI. ALL SECTIONS TO BE DESIGNED TO MEET OR EXCEED HS-20 LOADING.
- BASE TO BE SINGLE POUR MONOLITHIC SECTION.
- 60" (5'-0") INSIDE DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET. 6" MINIMUM WALL THICKNESS AND 8" MINIMUM BASE THICKNESS FOR 5'-0" DIAMETER PRECAST MANHOLE.

**DRAIN MANHOLE**  
N.T.S.



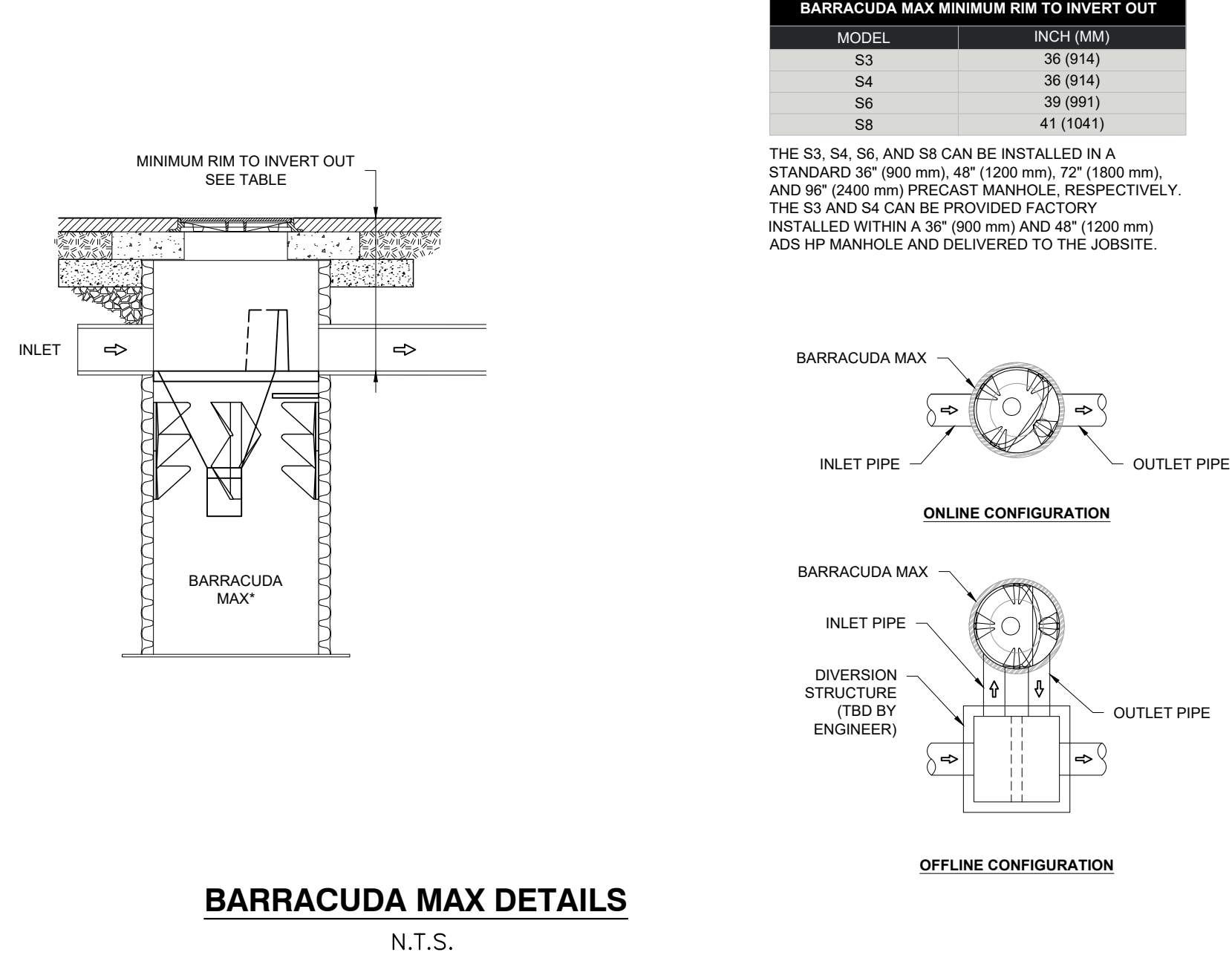
**CULTEC RECHARGER 150XLHD HEAVY DUTY PLAN VIEW**  
N.T.S.



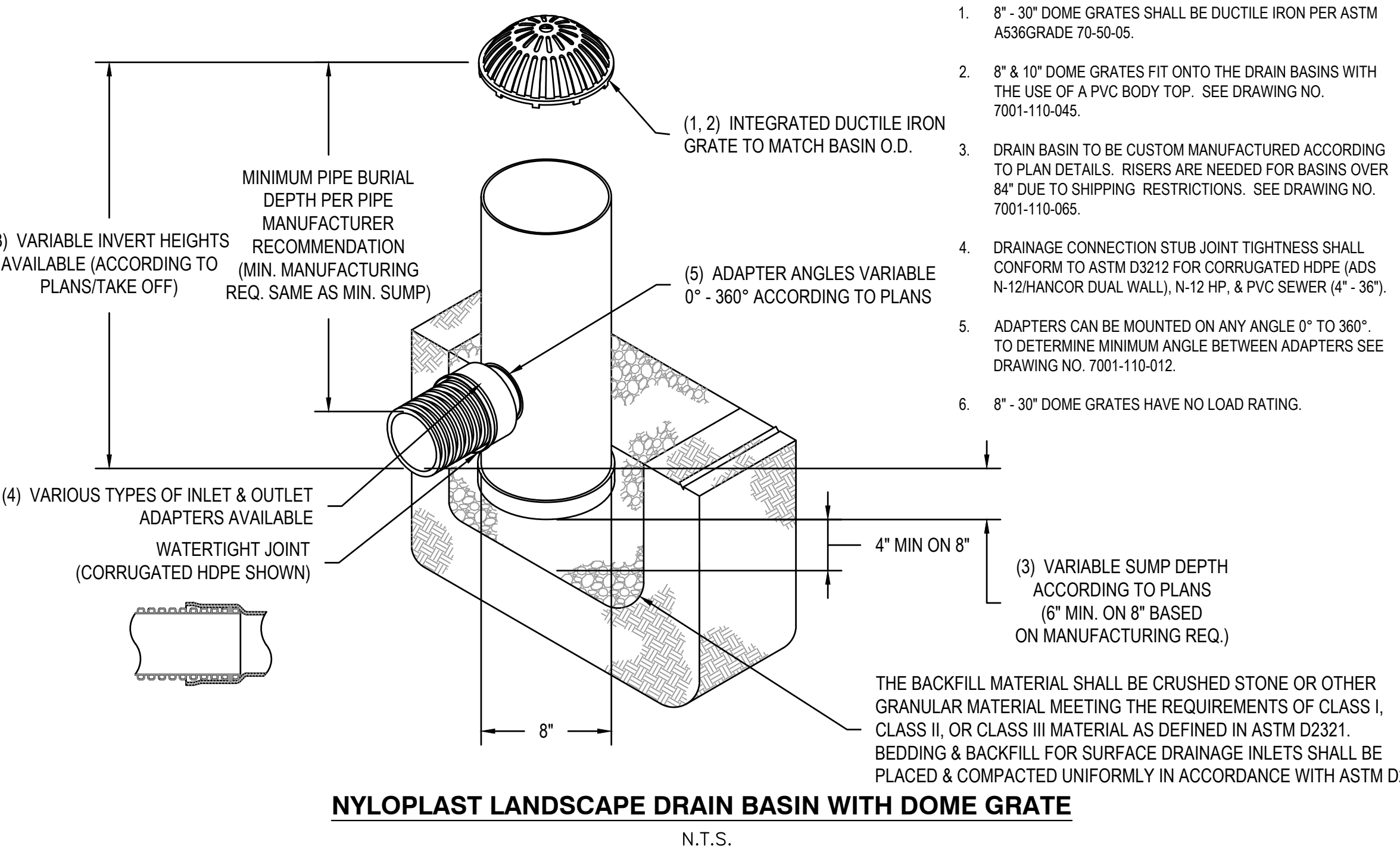
**CULTEC RECHARGER 150XLHD HEAVY DUTY CROSS SECTION**  
N.T.S.

	INFILTRATION CHAMBER SYSTEM (P1A) INFORMATION	INFILTRATION CHAMBER SYSTEM (P2A) INFORMATION	INFILTRATION CHAMBER SYSTEM (P2B) INFORMATION	INFILTRATION CHAMBER SYSTEM (P3A) INFORMATION
TOP OF STONE	7.54	7.54	7.04	7.54
TOP OF CHAMBER	7.04	7.04	6.54	7.04
BOTTOM OF CHAMBER	5.50	5.50	5.00	5.50
BOTTOM OF STONE	5.00	5.00	4.50	5.00
ASSUMED GW ELEV	2.57	2.88	2.15	2.15

**CULTEC RECHARGER 150XLHD**  
N.T.S.



**BARRACUDA MAX DETAILS**  
N.T.S.



**NYLOPLAST LANDSCAPE DRAIN BASIN WITH DOME GRATE**  
N.T.S.

**PARAGON DUNES MIXED-USE REDEVELOPMENT**  
189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD HULL, MASSACHUSETTS

**Civil & Environmental Consultants, Inc.**  
31 Bellows Road · Raynham, MA 02767  
Ph: 774.501.2176 · 866.312.2024 · Fax: 774.501.2669  
www.cecinc.com

**SUBMITTAL & REVISION RECORD**

NO.	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION

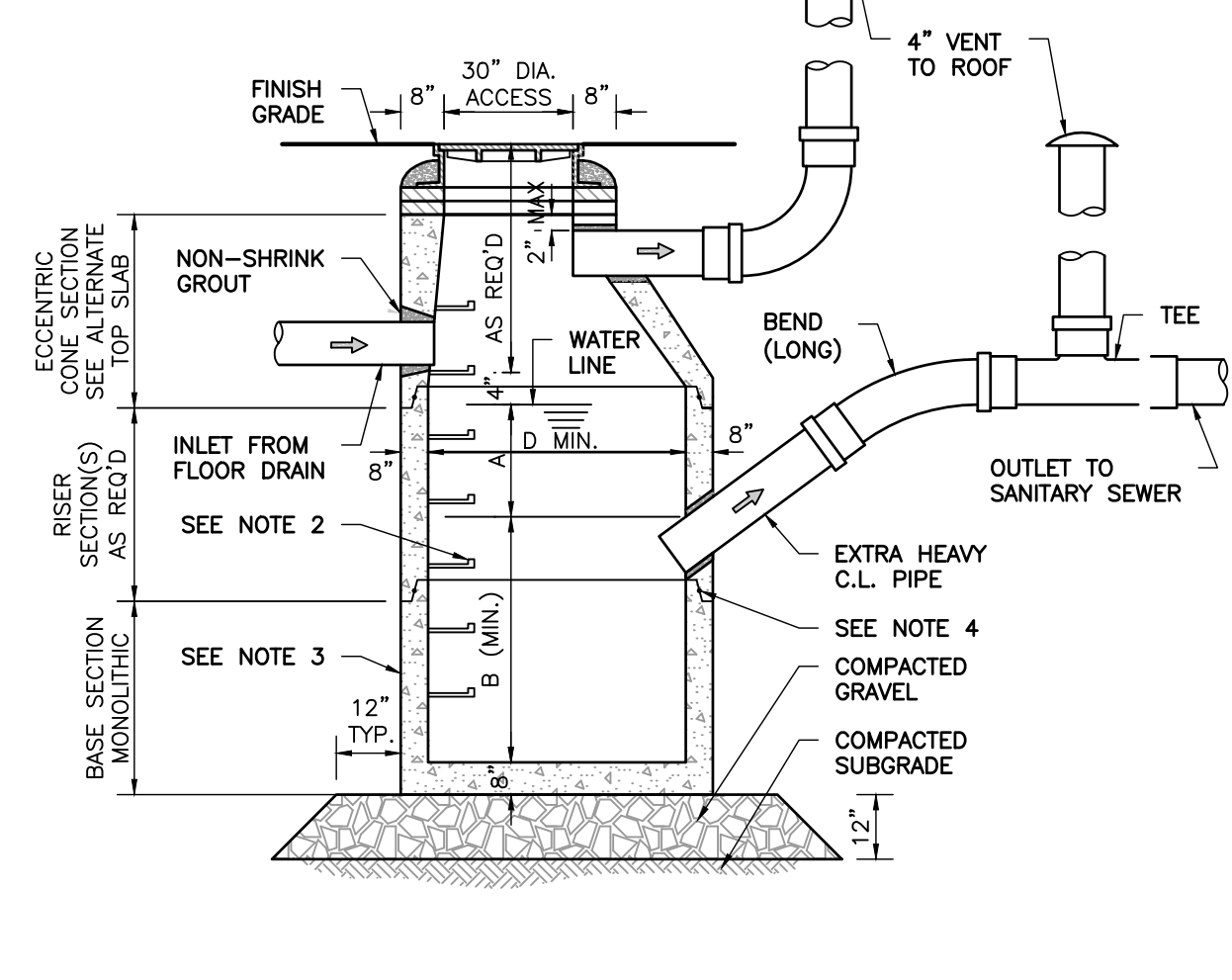
**SITE DETAILS**

DATE: OCTOBER 10, 2023 | DRAWN BY: CJV | KPS  
 DWG SCALE: AS SHOWN | CHECKED BY: 334-762 | KPS  
 PROJECT NO: 334-762 | APPROVED BY: KPS

**KARLIS SKULTE CIVIL ENGINEER**  
10/10/2023

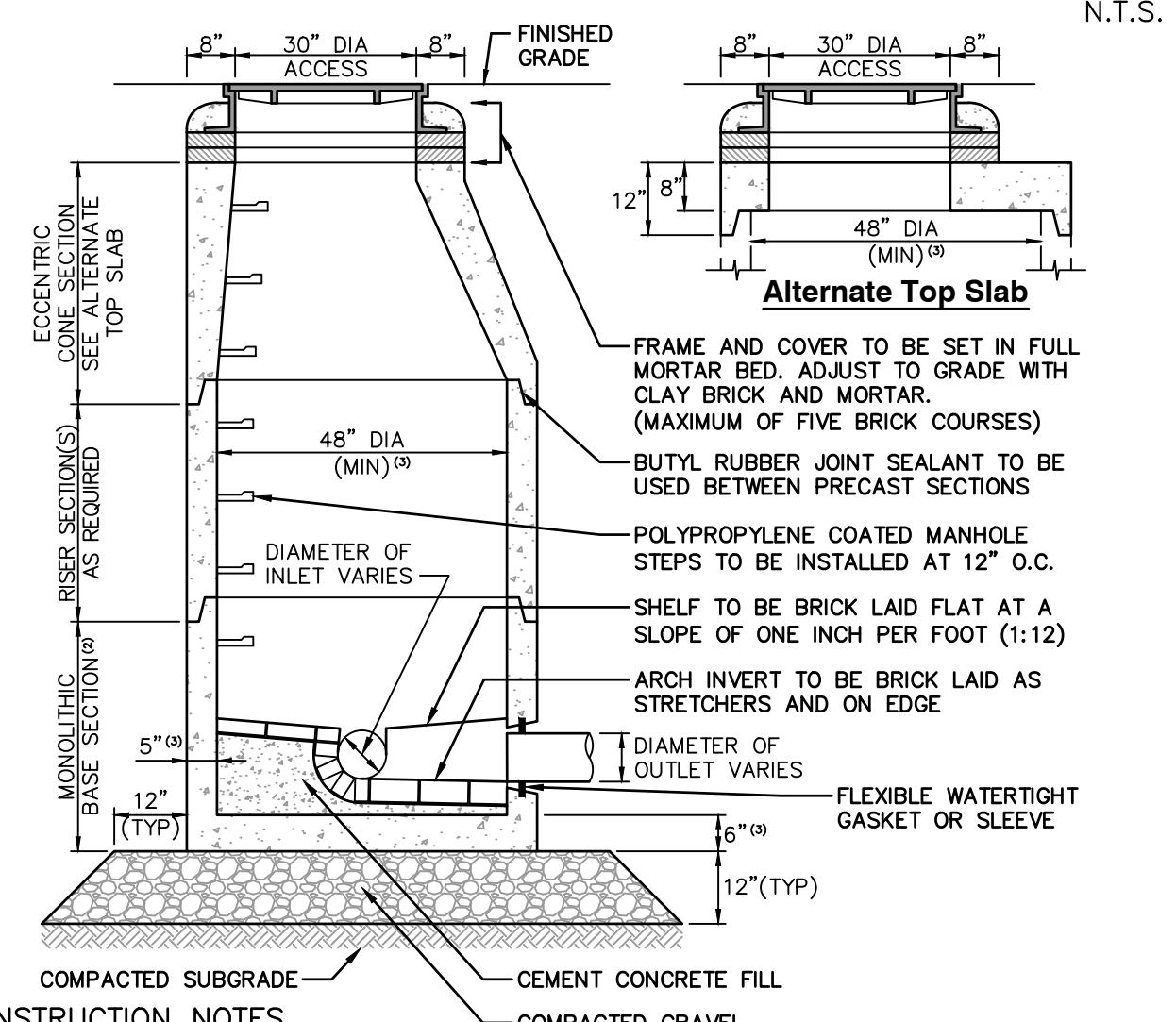
DRAWING NO: **C801**  
SHEET 13 OF 27

INLET SIZE	D	A	B
4"	3'-6" DIA.	3'-0"	2'-6"
5"	4'-0" DIA.	3'-6"	3'-0"
6"	4'-0" DIA.	5'-0"	4'-6"
8"	5'-0" DIA.	6'-0"	5'-0"
10"	6'-0" DIA.	6'-6"	5'-6"



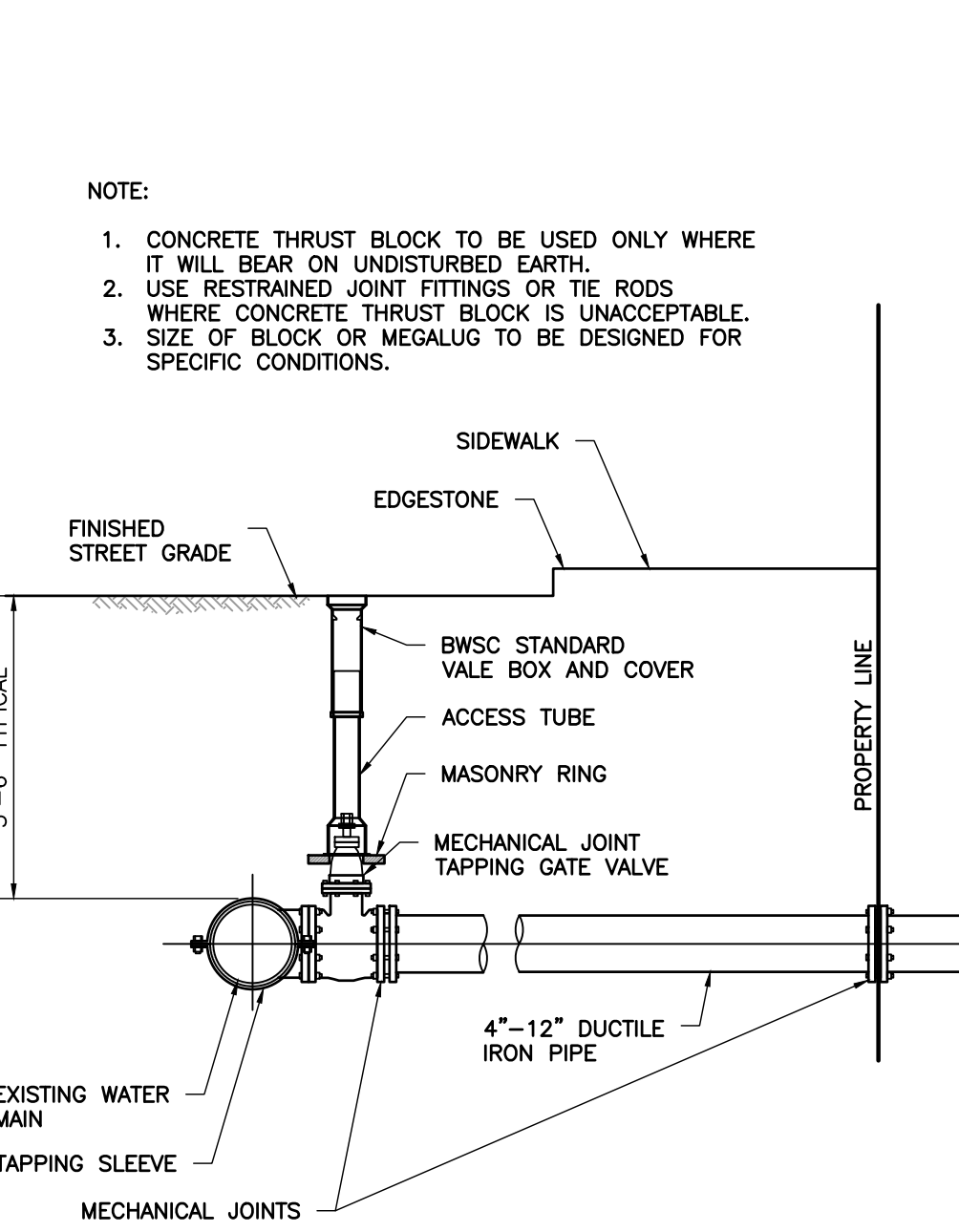
**OIL WATER SEPARATOR**  
N.T.S.

- NOTE: FINAL DESIGN OF OIL AND GAS SEPARATOR TO BE BY PLUMBING ENGINEER. THE INSTALLATION OF OIL AND GAS SEPARATOR, THE PIPING TO AND 10 FEET BEYOND IS BY PLUMBER.
- NOTES:
- STRUCTURE SHALL BE DESIGNED FOR HS-20 LOADING.
  - COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
  - EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATERPROOFING MATERIAL.
  - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
  - STANDARD SEWER MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED, ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).
  - STRUCTURE TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE.
  - THE STRUCTURE SHALL BE LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.
  - INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE.
  - WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST THREE FEET BELOW THE SURFACE.
  - THE NEW SEPARATOR MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.
  - OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE BASIN, AND MUST NOT BE DISCHARGED INTO HTE SEWER THROUGH OTHER FIXTURES.
  - SPECIFICATIONS FOR COVERING SPECIAL CASES OR CONDITIONS, SHALL BE APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE M.W.R.A.
  - BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18" ABOVE THE ROOF, OR AS APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE M.W.R.A.
  - ALL PIPING AND VENT MATERIAL TO BE EXTRA HEAVY CAST IRON OR DUCTILE IRON.

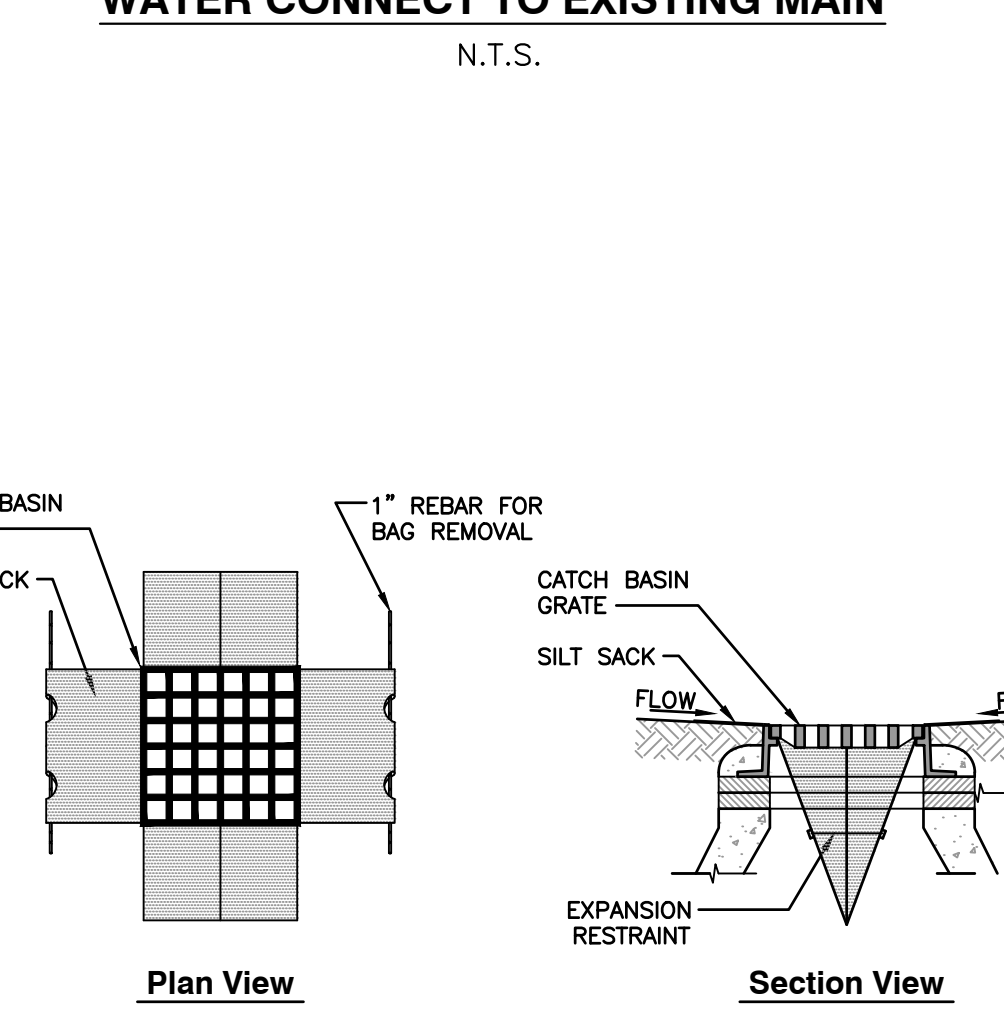


**SEWER MANHOLE**  
N.T.S.

- CONSTRUCTION NOTES
- STRUCTURE TO BE PRECAST CONCRETE, MINIMUM 4,000 PSI. ALL SECTIONS TO BE DESIGNED TO MEET OR EXCEED HS-20 LOADING.
  - BASE TO BE SINGLE POUR MONOLITHIC SECTION.
  - 60" (5'-0") INSIDE DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET. 6" MINIMUM WALL THICKNESS AND 7" MINIMUM BASE THICKNESS FOR 5'-0" DIAMETER PRECAST MANHOLE.
  - EXTERIOR SURFACES TO BE GIVEN TWO COATS OF WATERPROOFING MATERIAL.

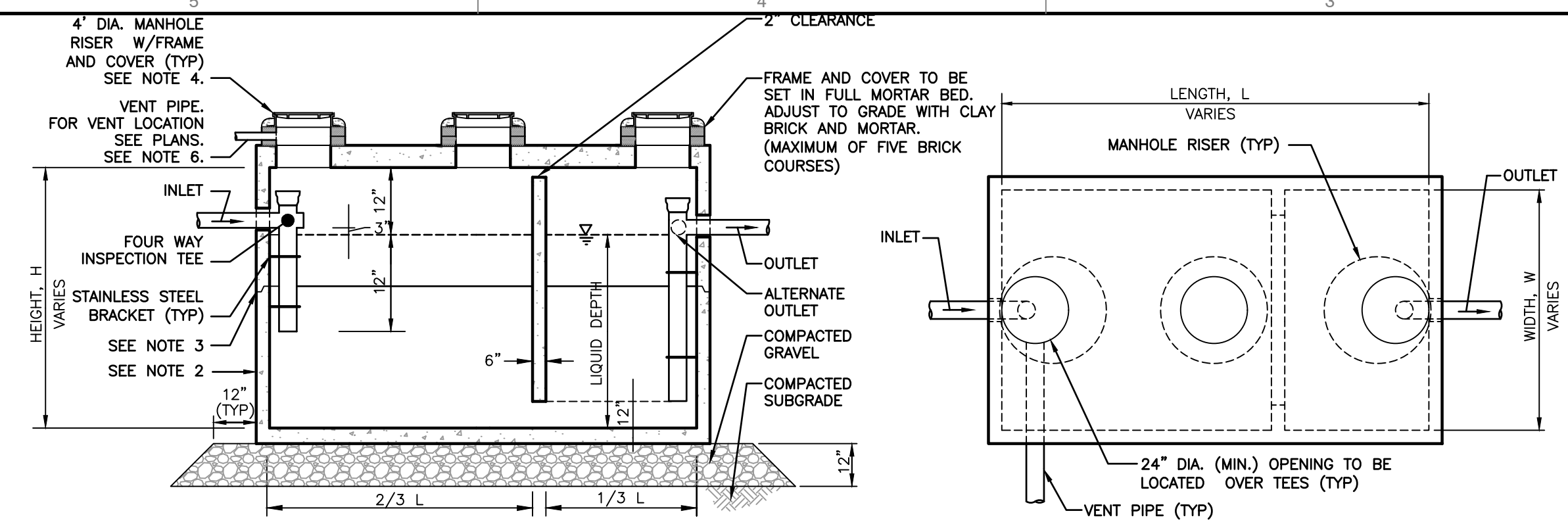


**WATER CONNECT TO EXISTING MAIN**  
N.T.S.



- CONSTRUCTION NOTES
- INSTALL SILT SOCKS IN ALL CATCH BASINS WHERE INDICATED ON THE SITE PLANS BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER THE BINDER COURSE IS PLACED AND EROSION CONTROL BARRIERS HAVE BEEN REMOVED.
  - GRATE TO BE PLACED OVER SILT SOCK.
  - SILT SOCKS SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS. CLEANING OR REPLACEMENT SHALL BE PERFORMED AS NEEDED. MAINTAIN SILT SOCKS UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

**SILT SOCK INLET PROTECTION**  
N.T.S.



**SECTION**

**PLAN VIEW**

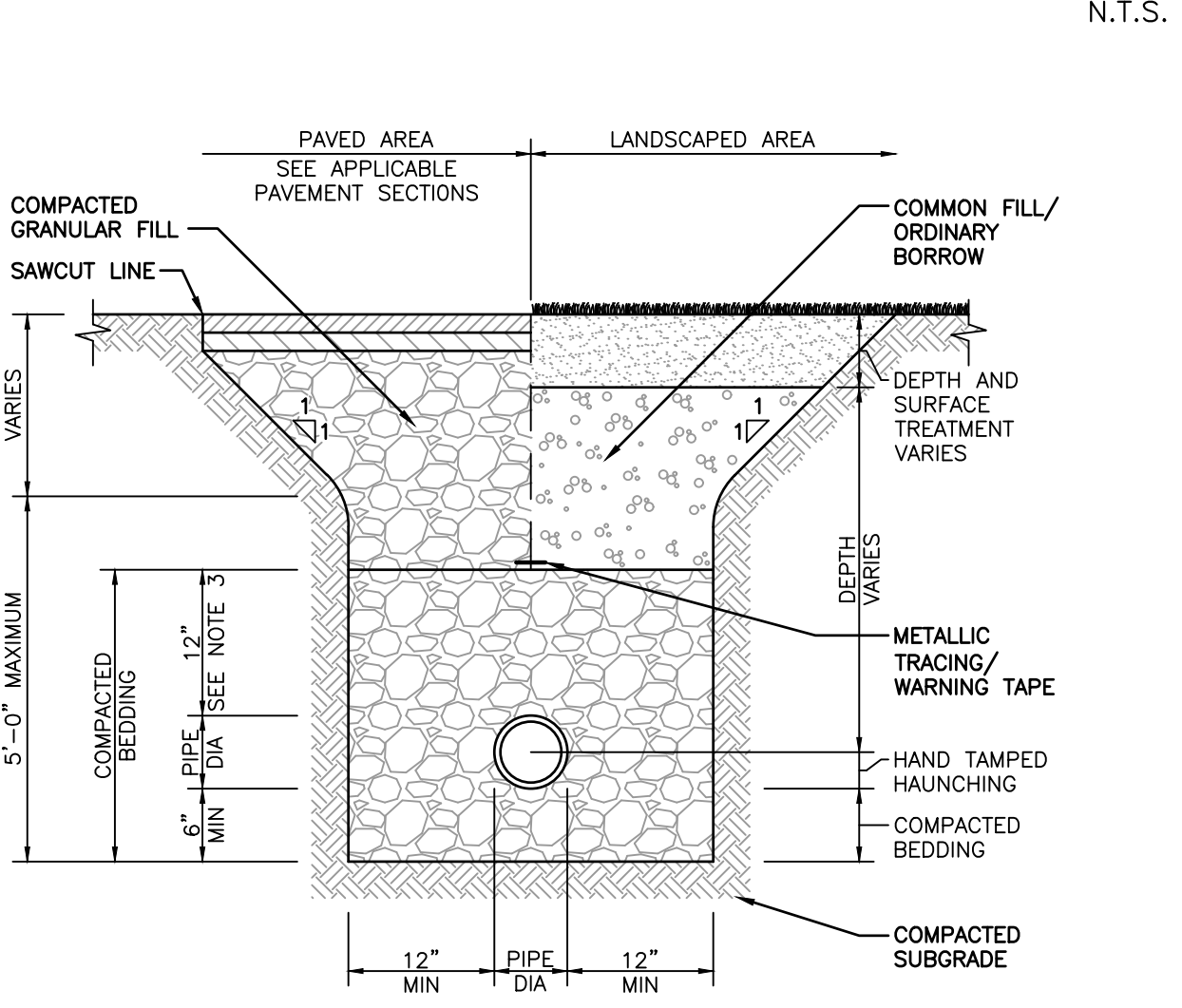
TABLE OF DIMENSIONS

I.D.	LENGTH (L) (FT.)	WIDTH (W) (FT.)	HEIGHT (H) (FT.)
2,500 GALLON	12'-0"	6'-0"	6'-0"
3,000 GALLON	14'-0"	8'-0"	5'-0"
3,500 GALLON	14'-0"	8'-0"	5'-6"
4,000 GALLON	14'-0"	8'-0"	6'-0"
4,500 GALLON	14'-0"	8'-0"	6'-6"
5,000 GALLON	16'-0"	9'-0"	6'-0"

SIZES ARE BASED ON TYPICAL PRECAST CONCRETE GREASE TRAP DIMENSIONS. FINAL SIZES TO BE CONFIRMED PRIOR TO CONSTRUCTION

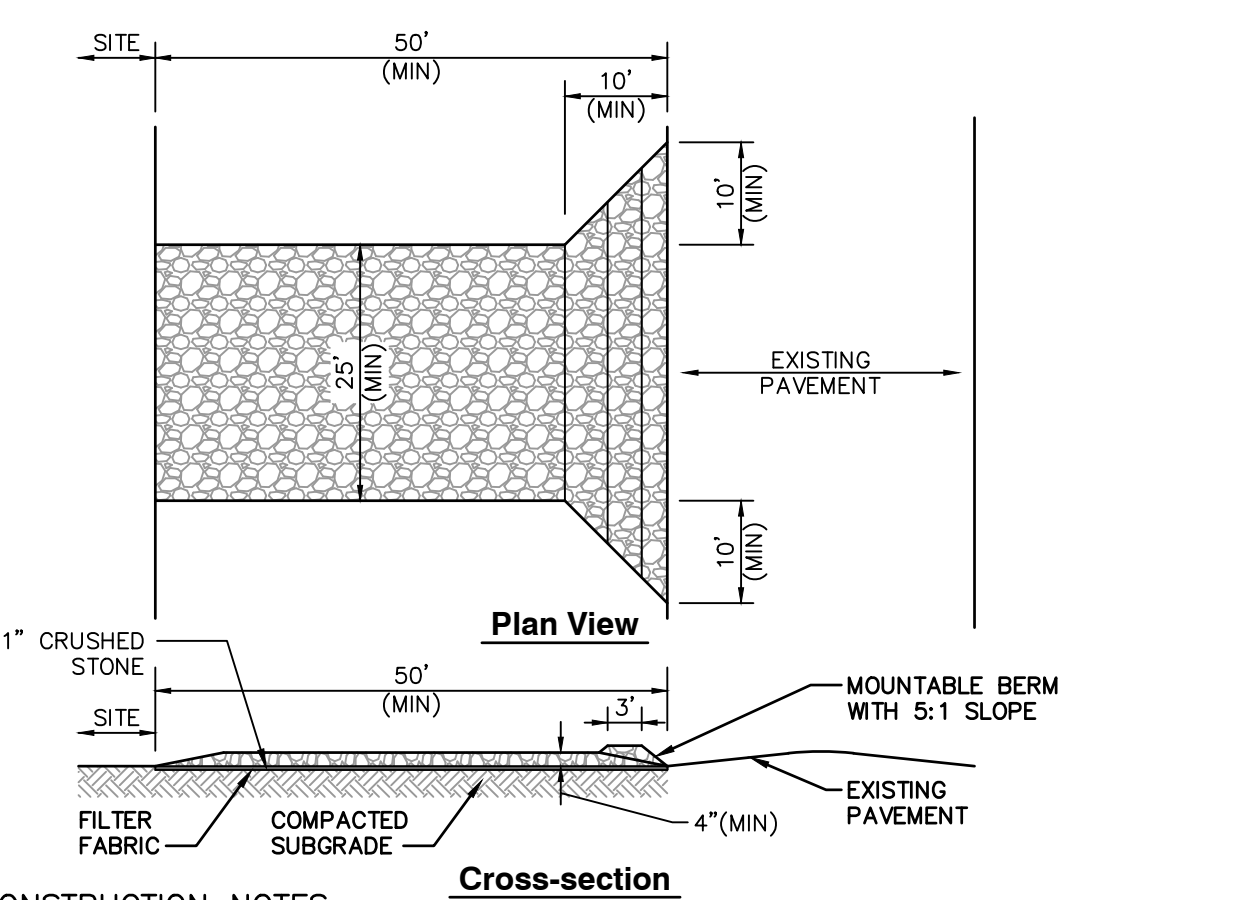
- NOTES:
- STRUCTURE SHALL BE DESIGNED FOR HS-20 LOADING.
  - EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
  - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
  - STANDARD 24-INCH SEWER MANHOLE FRAME AND COVER SHALL BE LOCATED OVER CROSSES.
  - PIPING SHALL BE SCH 40 PVC WITH SOLVENT WELDED JOINTS. INTERNAL PIPE DIAMETER SHALL BE SAME SIZE AS OUTLET PIPE.
  - VENTS TO BE VENTED BACK THROUGH BUILDING ROOF, PER PLUMBING CODE.
  - PRIOR TO USE, FILL WITH CLEAN WATER UP TO A DEPTH OF TWO (2) FEET.
  - CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING, FITTINGS, AND CLEAN OUTS.

**PRECAST CONCRETE GREASE TRAP**  
N.T.S.



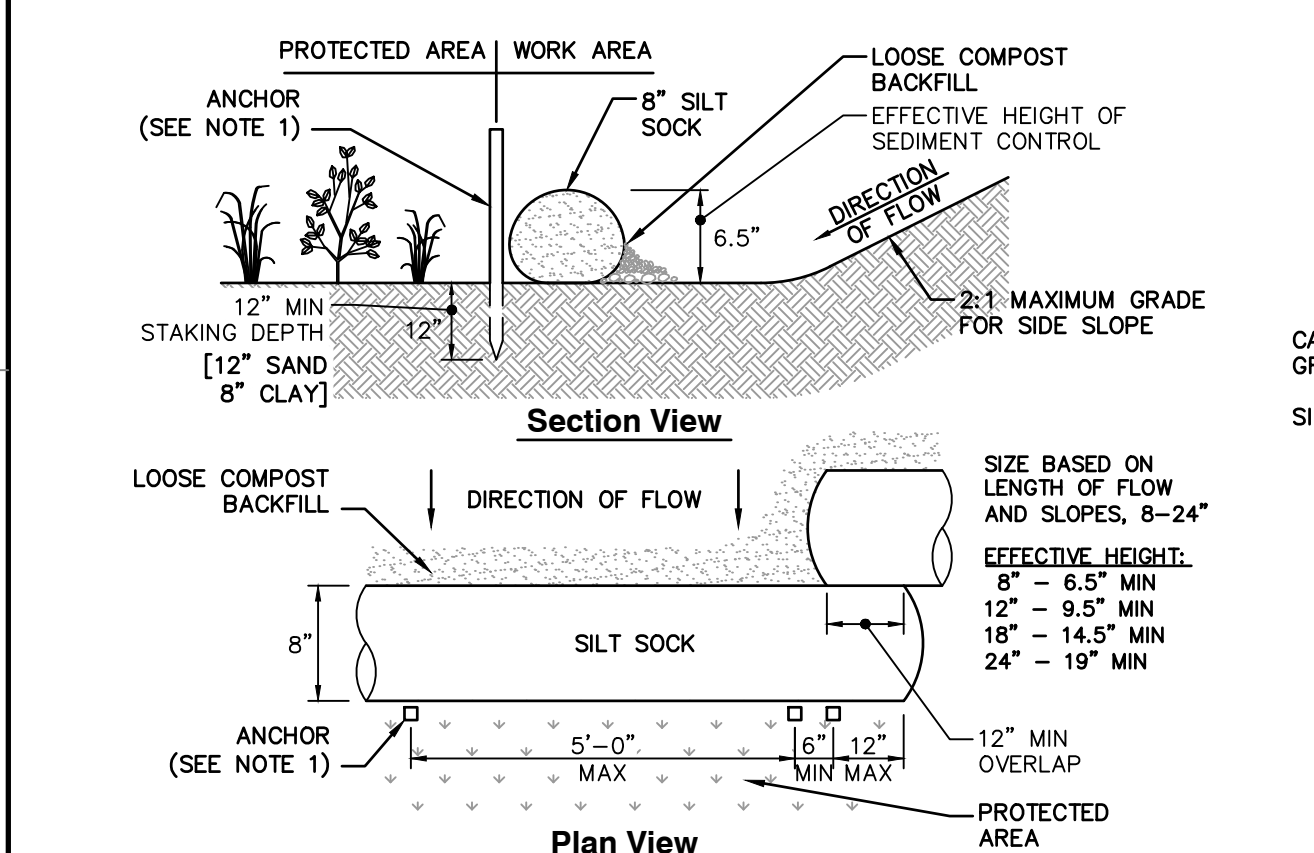
**UTILITY TRENCH**  
N.T.S.

- CONSTRUCTION NOTES
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
  - USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
  - FOR HIGH DENSITY POLYETHYLENE (HDPE) PIPE, DIMENSION IS 24 INCHES.



**STABILIZED CONSTRUCTION EXIT**  
N.T.S.

- CONSTRUCTION NOTES
- ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
  - STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO FINAL FINISHED MATERIALS BEING INSTALLED.



**SILT SOCK EROSION CONTROL BARRIER**  
N.T.S.

- CONSTRUCTION NOTES
- ANCHOR TO BE A 2" X 2" X 36" HARD WOOD STAKE, OR APPROVED EQUAL.
  - COMPOST FOR SILT SOCK FILL MATERIAL TO BE PROVIDED BY THE MANUFACTURER IN CONJUNCTION WITH THE ENGINEER TO PROVIDE THE REQUIRED REMOVAL OF SEDIMENT OR OTHER POLLUTANTS FROM RUNOFF.
  - COMPOST MATERIAL SHALL BE DISPENSED ON SITE, AS DETERMINED BY THE LOCAL CONSERVATION AGENT OR THE DESIGN ENGINEER.
  - SILT SOCK SHALL BE INSPECTED PER LOCAL AND STATE REQUIREMENTS. REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY, AS NEEDED.
  - METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.

SUBMITTAL & REVISION RECORD

NO.	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION

**CEC**  
Civil & Environmental Consultants, Inc.  
31 Bellows Road - Raynham, MA 02767  
Ph: 774.501.2176 • 866.312.2024 • Fax: 774.501.2669  
www.cecinc.com

**PARAGON DUNES  
MIXED-USE REDEVELOPMENT**  
189 & 193 NANTASKET AVENUE &  
0 GEORGE WASHINGTON BOULEVARD  
HULL, MASSACHUSETTS

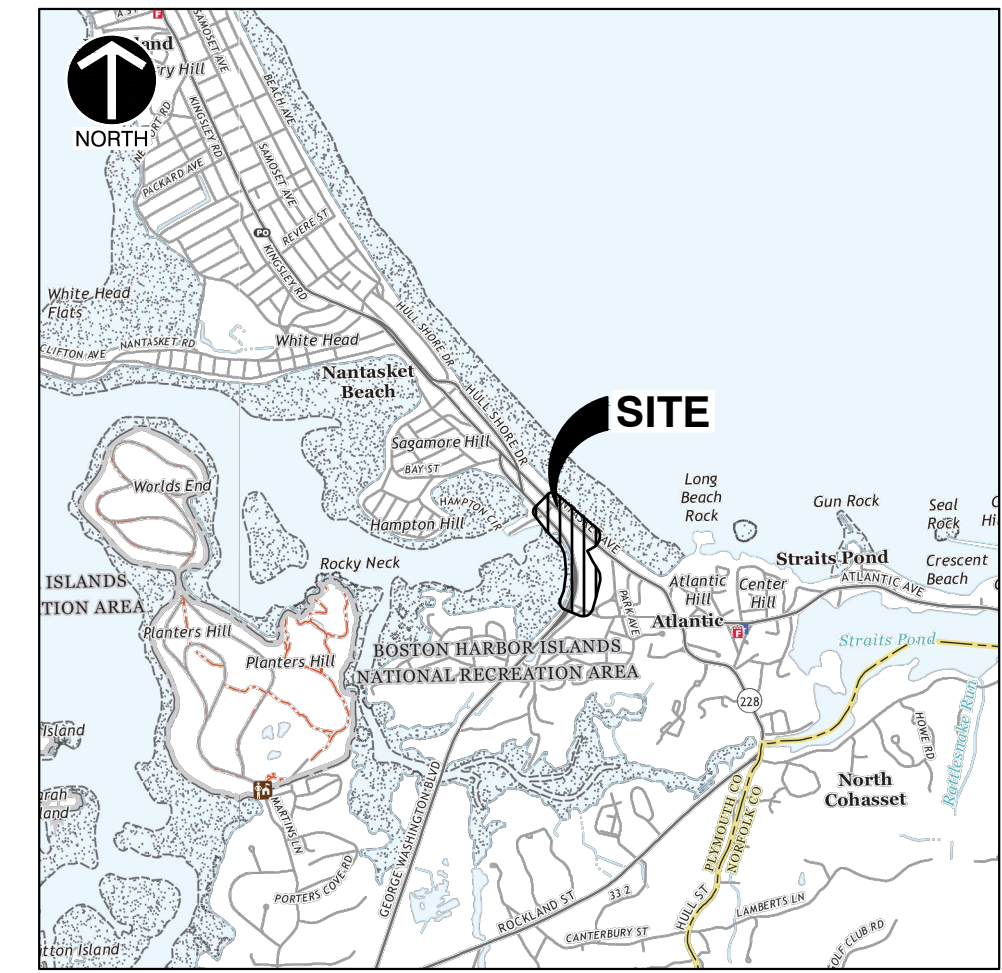
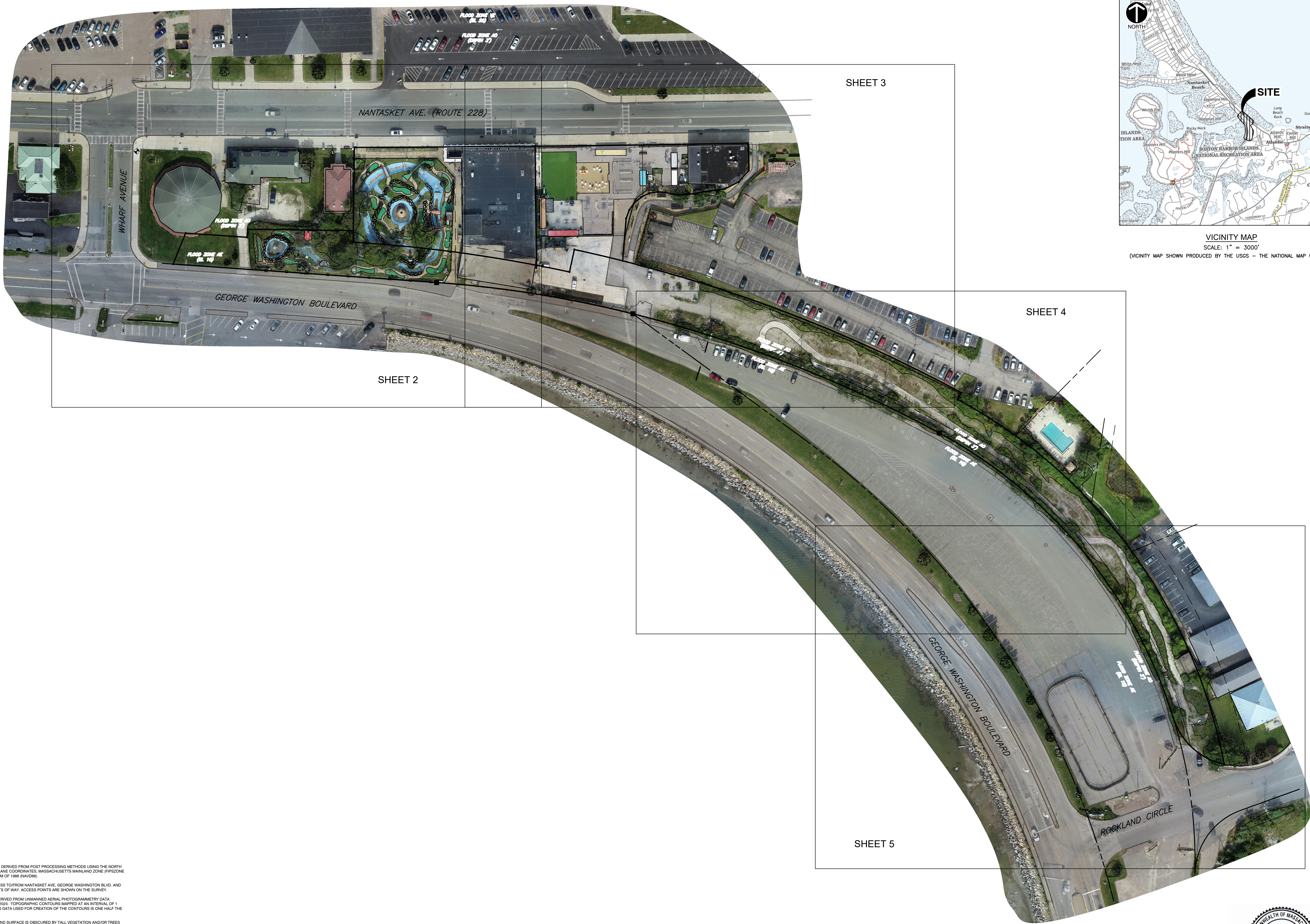
**SITE DETAILS**

DATE: OCTOBER 10, 2023 | DRAWN BY: C/JV | KPS  
DWG SCALE: AS SHOWN | CHECKED BY: 334-762 | KPS  
APPROVED BY: [Signature]

DRAWING NO.: **C802**  
SHEET 13 OF 27



A:\300-2001\334-762\1-0000\Drawings\0071\334762-001-0000.dwg(3/30) 15:10/10/2023 - mwh/mwh - LP: 10/11/2023 8:41 AM



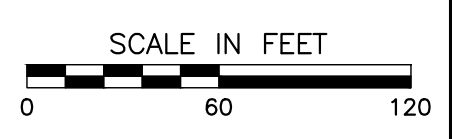
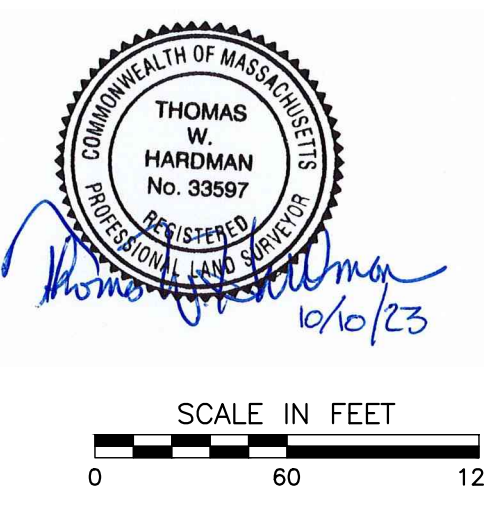
VICINITY MAP  
SCALE: 1" = 3000'  
(VICINITY MAP SHOWN PRODUCED BY THE USGS - THE NATIONAL MAP US TOPO)

NO.	DATE	DESCRIPTION

**CEC**  
**Civil & Environmental Consultants, Inc.**  
 31 Bellows Road · Raynham, MA 02767  
 Ph: 774.501.2176 · 866.312.2024 · Fax: 774.501.2669  
 www.cecinc.com

**PROPCO COMPANIES**  
**PARAGON DUNES DEVELOPMENT**  
**189-197 NANTASKET AVE &**  
**0 GEORGE WASHINGTON BLVD.**  
**HULL, MA 01835**

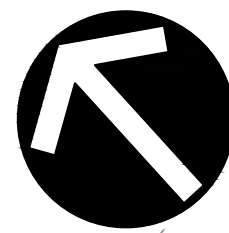
<b>EXISTING CONDITIONS PLAN</b>	
<b>OVERALL PLAN</b>	
DATE: SEPTEMBER 2025	DRAWN BY: DJP
DWG SCALE: 1"=60'	TWHP
PROJECT NO: 334-762	334-762
APPROVED BY: <i>Thomas W. Hardman</i>	TWHP



**SURVEYOR'S NOTES:**

- 1.) THE BASIS OF BEARING IS GRID NORTH DERIVED FROM POST PROCESSING METHODS USING THE NORTH AMERICAN DATUM OF 1983 (NAD83) STATE PLANE COORDINATES, MASSACHUSETTS MAINLAND ZONE (PPSZONE 2001) AND NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- 2.) SUBJECT PROPERTY HAS DIRECT ACCESS TO/FROM NANTASKET AVE, GEORGE WASHINGTON BLVD, AND ROCKLAND CIRCLE WHICH ARE PUBLIC RIGHTS OF WAY. ACCESS POINTS ARE SHOWN ON THE SURVEY.
- 3.) AERIAL IMAGERY AND TOPOGRAPHY DERIVED FROM UNMANNED AERIAL PHOTOGRAMMETRY DATA COLLECTED BY CEC, INC. ON SEPTEMBER 8, 2023. TOPOGRAPHIC CONTOURS MAPPED AT AN INTERVAL OF 1 FOOT. THE VERTICAL ACCURACY OF THE LAS DATA USED FOR CREATION OF THE CONTOUR IS ONE HALF THE CONTOUR INTERVAL OR ±0.5.
- 4.) AREAS OF MAPPING WHERE THE GROUND SURFACE IS OBTAINED BY TALL VEGETATION AND/OR TREES ARE IDENTIFIED ON THE PLAN. CONTOURS MAY BE SHOWN, HOWEVER, A FIELD CHECK FOR ACCURACY IS HIGHLY RECOMMENDED.
- 5.) THE SUBJECT PROPERTIES ARE LOCATED IN "SPECIAL FLOOD HAZARD AREA" ZONE AE (AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) AND ZONE AD WITH DETERMINED FLOOD DEPTHS OF 1 TO 3 FEET BASED ON THE FLOOD INSURANCE RATE MAP (FIRM) NO. 250500001A, WITH AN EFFECTIVE DATE OF JULY 17, 2012 AND REVISED TO REFLECT LOMR, EFFECTIVE DATE OF JANUARY 24, 2018.
- 6.) THE UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES LOCATED HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES LOCATED ARE IN THE EXACT LOCATION INDICATED.

A:\130-2001\130-762-7621-Survey\Draw\130-762-5101-SW-Overall\SW-11-LS(10/11/2025) - Rev.mxd - LP: 10/11/2025 8:42 AM



NORTH

(PUBLIC) VARIABLE WIDTH  
(BASED ON PLAN BK 30 PG. 134)

NANTASKET AVE. (ROUTE 228)

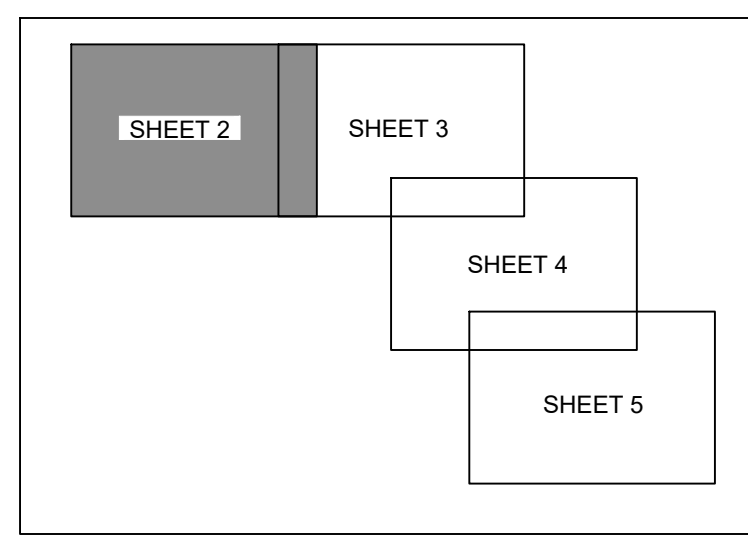
ASPHALT

WHARF AVENUE

GEORGE WASHINGTON BOULEVARD

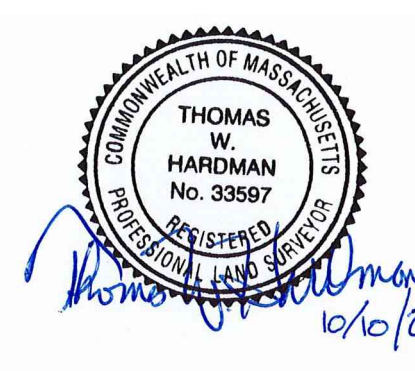
EXISTING LEGEND:

- |           |                               |   |  |
|-----------|-------------------------------|---|--|
| — W —     | WATER LINE (BY PLAN)          | ⊙ | PEDESTRIAN CROSSING SIGNAL                   |
| — G —     | EXISTING GAS LINE             | ⊙ | TELEPHONE MANHOLE                            |
| — R —     | EXISTING RIGHT-OF-WAY         | ⊙ | SANITARY MANHOLE                             |
| — 8.70 —  | EXISTING INDEX CONTOUR        | ⊙ | STORM MANHOLE                                |
| — 8.70 —  | EXISTING INTERMEDIATE CONTOUR | ⊙ | CATCH BASIN (TYPE)                           |
| — / / / — | EXISTING WOOD FENCE           | ⊙ | INLET SQUARE                                 |
| — □ —     | EXISTING METAL FENCE          | ⊙ | INLET (CIRCULAR)                             |
| — ○ —     | EXISTING CHAIN LINK FENCE     | ⊙ | GAS BOX (GAS VALVE)                          |
| — x —     | EXISTING RAILING              | ⊙ | GAS METER                                    |
| — — —     | EXISTING GUIDE RAIL           | ⊙ | CLEAN OUT                                    |
| — OH-W —  | EXISTING OVERHEAD WIRES       | ⊙ | ELECTRIC METER                               |
| — ○ —     | EXISTING STONE WALL           | ⊙ | TRANSFORMER                                  |
| — SAN —   | SANITARY SEWER LINE (BY PLAN) | ⊙ | TREE, DECIDUOUS                              |
| — ST —    | STORM LINE (BY PLAN)          | ⊙ | STATE MONUMENT (MASSACHUSETTS HIGHWAY BOUND) |
|           |                               | ⊙ | M.H.B.                                       |



KEY MAP

1"=500'



SCALE IN FEET  
0 20 40

PROPERTY ID: 37-003  
N/F  
NANTASKET DUNE HOLDINGS LLC  
BOOK 49206, PG. 250

LOT D  
PLAN OF LAND IN HULL, MASS.  
PLAN BK. 3, PG. 653

193 NANTASKET AVE

AREA: 32,548 SQ. FT.  
OR 1.934 ACRES

FUNLAND BUILDING  
PLAN OF LAND AND BUILDING  
PLAN BK. 9, PG. 724

COMMERCIAL BUILDING

CONCRETE SIDEWALK  
9.5' WIDE PASSAGEWAY  
5' WIDE PASSAGEWAY

CONCRETE STEPS AND LANDING

NO.	DATE	DESCRIPTION

**Civil & Environmental Consultants, Inc.**  
31 Bellows Road · Raynham, MA 02767  
Ph: 774.501.2176 · 866.6312.2024 · Fax: 774.501.2669  
www.cecinc.com

**PROCOPIO COMPANIES**  
PARAGON DUNES DEVELOPMENT  
189-197 NANTASKET AVE &  
0 GEORGE WASHINGTON BLVD.  
HULL, MA 01835

EXISTING CONDITIONS PLAN

DRAWING NO. **SV-02**

SHEET 2 OF 5

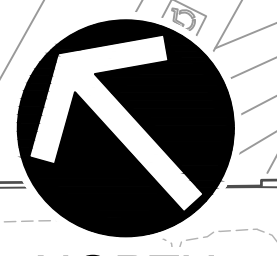
DATE: SEPTEMBER 2023  
DWG SCALE: 1"=20'  
PROJECT NO: 334-762

DRAWN BY: DJP  
TWH  
334-762

CHECKED BY: TWH

APPROVED BY: TWH

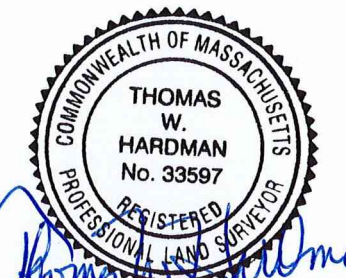
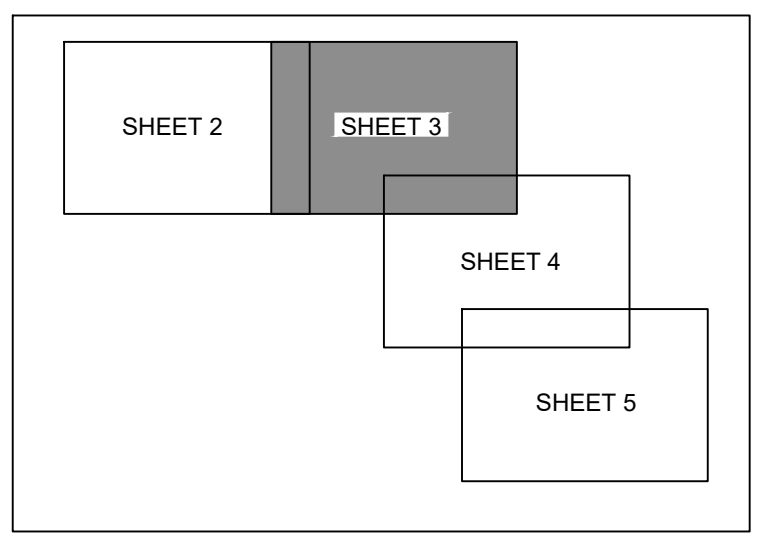
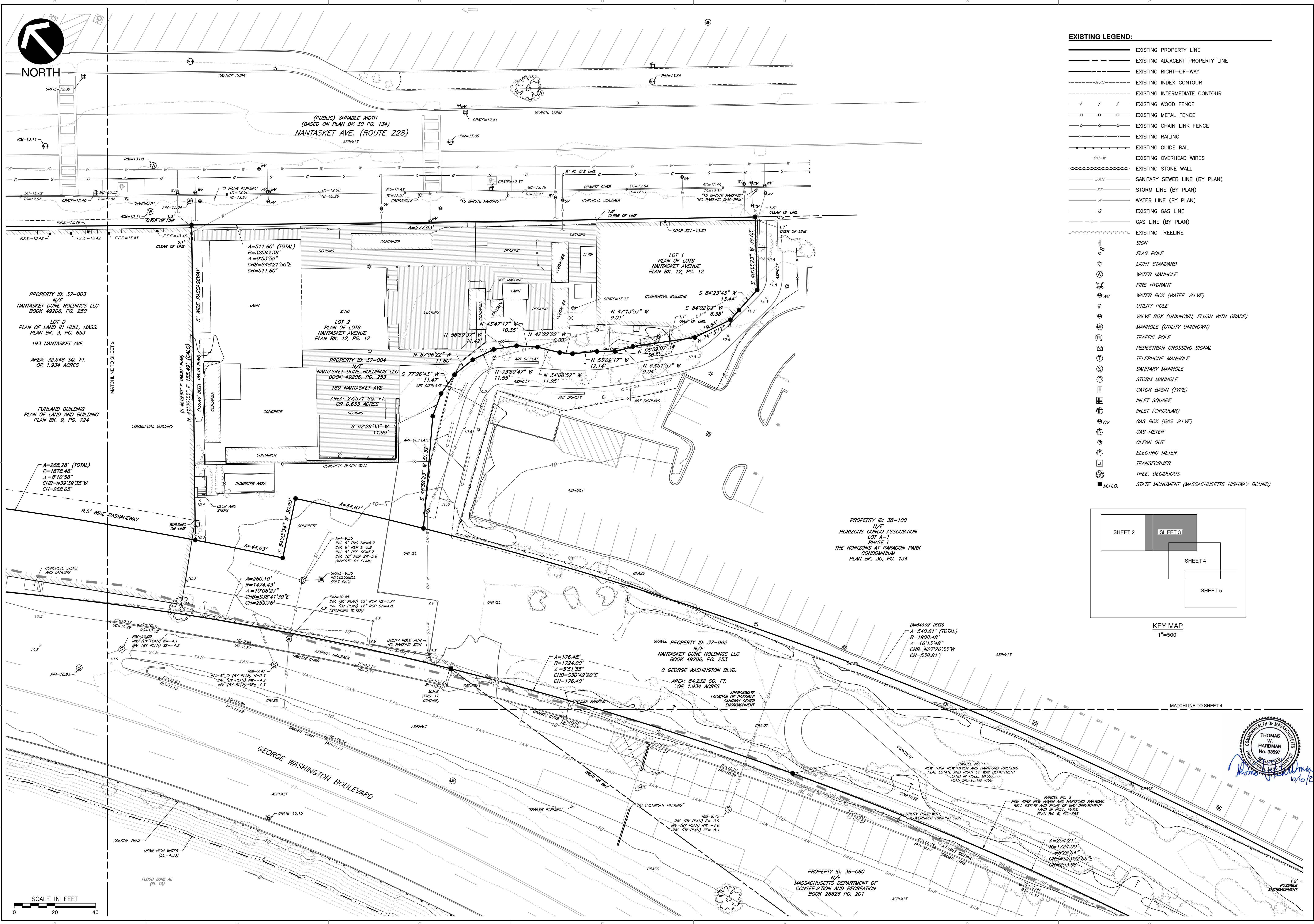
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NORTH

EXISTING LEGEND:

- EXISTING PROPERTY LINE
- - - EXISTING ADJACENT PROPERTY LINE
- - - - - EXISTING RIGHT-OF-WAY
- - - - - EXISTING INDEX CONTOUR
- - - - - EXISTING INTERMEDIATE CONTOUR
- / - / - EXISTING WOOD FENCE
- - - - - EXISTING METAL FENCE
- - - - - EXISTING CHAIN LINK FENCE
- - - - - EXISTING RAILING
- - - - - EXISTING GUIDE RAIL
- - - - - EXISTING OVERHEAD WIRES
- - - - - EXISTING STONE WALL
- - - - - SAN SANITARY SEWER LINE (BY PLAN)
- - - - - ST STORM LINE (BY PLAN)
- - - - - W WATER LINE (BY PLAN)
- - - - - G EXISTING GAS LINE
- - - - - G GAS LINE (BY PLAN)
- - - - - EXISTING TRELISE
- SIGN
- FLAG POLE
- LIGHT STANDARD
- WATER MANHOLE
- FIRE HYDRANT
- WV WATER BOX (WATER VALVE)
- UTILITY POLE
- VB VALVE BOX (UNKNOWN, FLUSH WITH GRADE)
- MU MANHOLE (UTILITY UNKNOWN)
- TP TRAFFIC POLE
- PC PEDESTRIAN CROSSING SIGNAL
- TM TELEPHONE MANHOLE
- SM SANITARY MANHOLE
- SMH STORM MANHOLE
- CB CATCH BASIN (TYPE)
- IS INLET SQUARE
- IC INLET (CIRCULAR)
- GV GAS BOX (GAS VALVE)
- GM GAS METER
- CO CLEAN OUT
- EM ELECTRIC METER
- TR TRANSFORMER
- TREE, DECIDUOUS
- M.H.B. STATE MONUMENT (MASSACHUSETTS HIGHWAY BOUND)



Thomas W. Hardman  
10/10/23

NO.	DATE	DESCRIPTION

**Civil & Environmental Consultants, Inc.**  
31 Bellows Road - Raynham, MA 02767  
Ph: 774.501.2176 • 866.6312.2024 • Fax: 774.501.2669  
www.cecinc.com

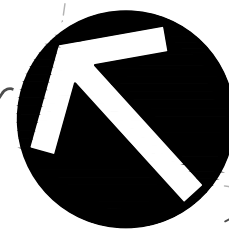
**PROPCO COMPANIES**  
**PARAGON DUNES DEVELOPMENT**  
**189-197 NANTASKET AVE &**  
**0 GEORGE WASHINGTON BLVD.**  
**HULL, MA 01835**

EXISTING CONDITIONS PLAN

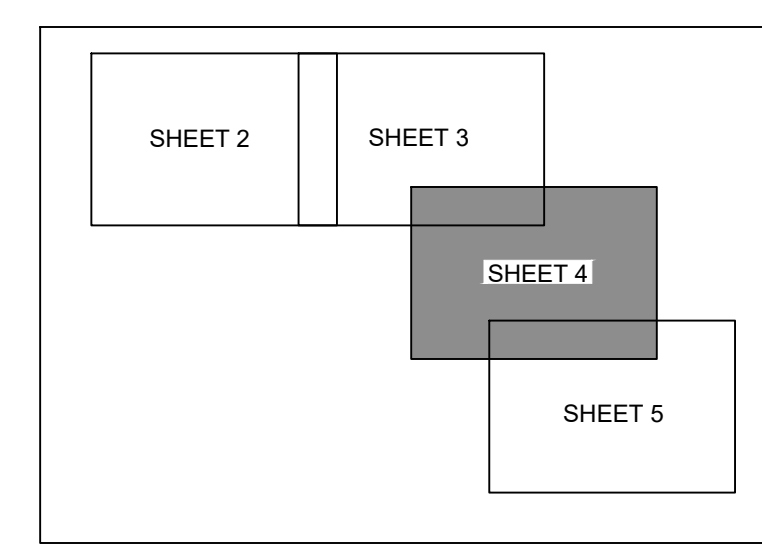
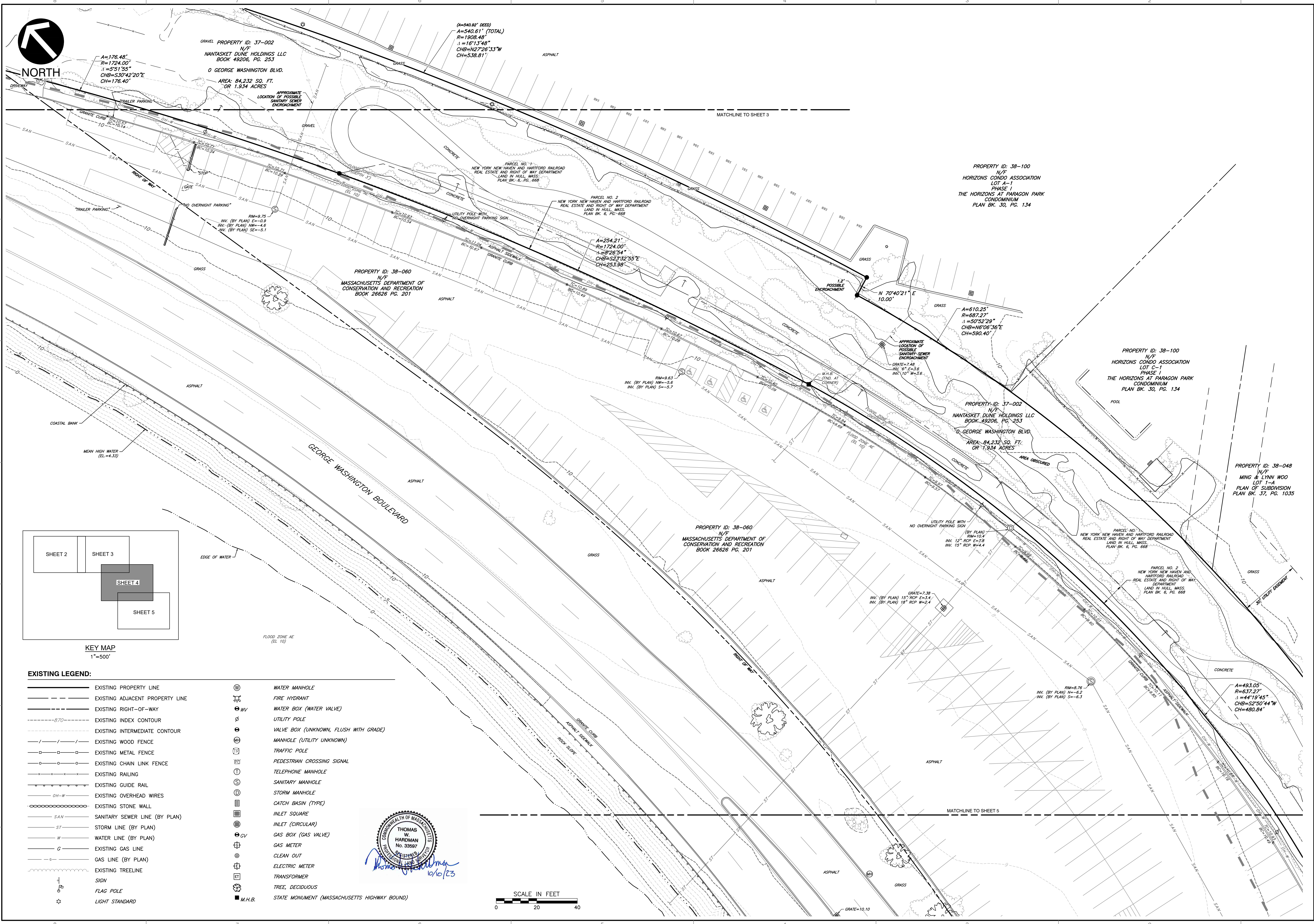
DATE: SEPTEMBER 2023  
DRAWN BY: DJP  
TWH  
334-762  
11-20  
CHECKED BY:  
APPROVED BY:

DRAWING NO. **SV-03**  
SHEET 3 OF 5

P:\130-0001\130-0001-7621-Sump\Draw\130-0001-3101-SWP\COND.PLAN - 10/11/2023 8:42 AM



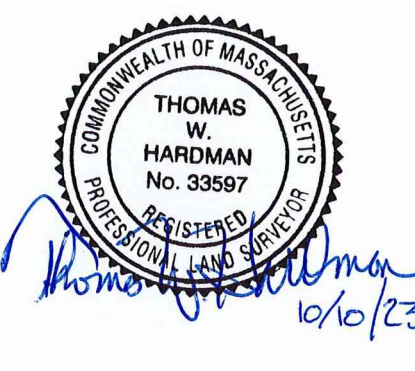
NORTH



KEY MAP  
1"=500'

**EXISTING LEGEND:**

	EXISTING PROPERTY LINE		WATER MANHOLE
	EXISTING ADJACENT PROPERTY LINE		FIRE HYDRANT
	EXISTING RIGHT-OF-WAY		WATER BOX (WATER VALVE)
	EXISTING INDEX CONTOUR		UTILITY POLE
	EXISTING INTERMEDIATE CONTOUR		VALVE BOX (UNKNOWN, FLUSH WITH GRADE)
	EXISTING WOOD FENCE		MANHOLE (UTILITY UNKNOWN)
	EXISTING METAL FENCE		TRAFFIC POLE
	EXISTING CHAIN LINK FENCE		PEDESTRIAN CROSSING SIGNAL
	EXISTING RAILING		TELEPHONE MANHOLE
	EXISTING GUIDE RAIL		SANITARY MANHOLE
	EXISTING OVERHEAD WIRES		STORM MANHOLE
	EXISTING STONE WALL		CATCH BASIN (TYPE)
	SANITARY SEWER LINE (BY PLAN)		INLET SQUARE
	STORM LINE (BY PLAN)		INLET (CIRCULAR)
	WATER LINE (BY PLAN)		GAS BOX (GAS VALVE)
	EXISTING GAS LINE		GAS METER
	GAS LINE (BY PLAN)		CLEAN OUT
	EXISTING TREELINE		ELECTRIC METER
	SIGN		TRANSFORMER
	FLAG POLE		TREE, DECIDUOUS
	LIGHT STANDARD		STATE MONUMENT (MASSACHUSETTS HIGHWAY BOUND)



**REVISION RECORD**

NO.	DATE	DESCRIPTION

**CEC**  
**Civil & Environmental Consultants, Inc.**  
 31 Bellows Road - Raynham, MA 02767  
 Ph: 774.501.2176 - 866.312.2024 - Fax: 774.501.2669  
 www.cecinc.com

**PROCOPIO COMPANIES**  
**PARAGON DUNES DEVELOPMENT**  
**189-197 NANTASKET AVE &**  
**0 GEORGE WASHINGTON BLVD.**  
**HULL, MA 01835**

**EXISTING CONDITIONS PLAN**

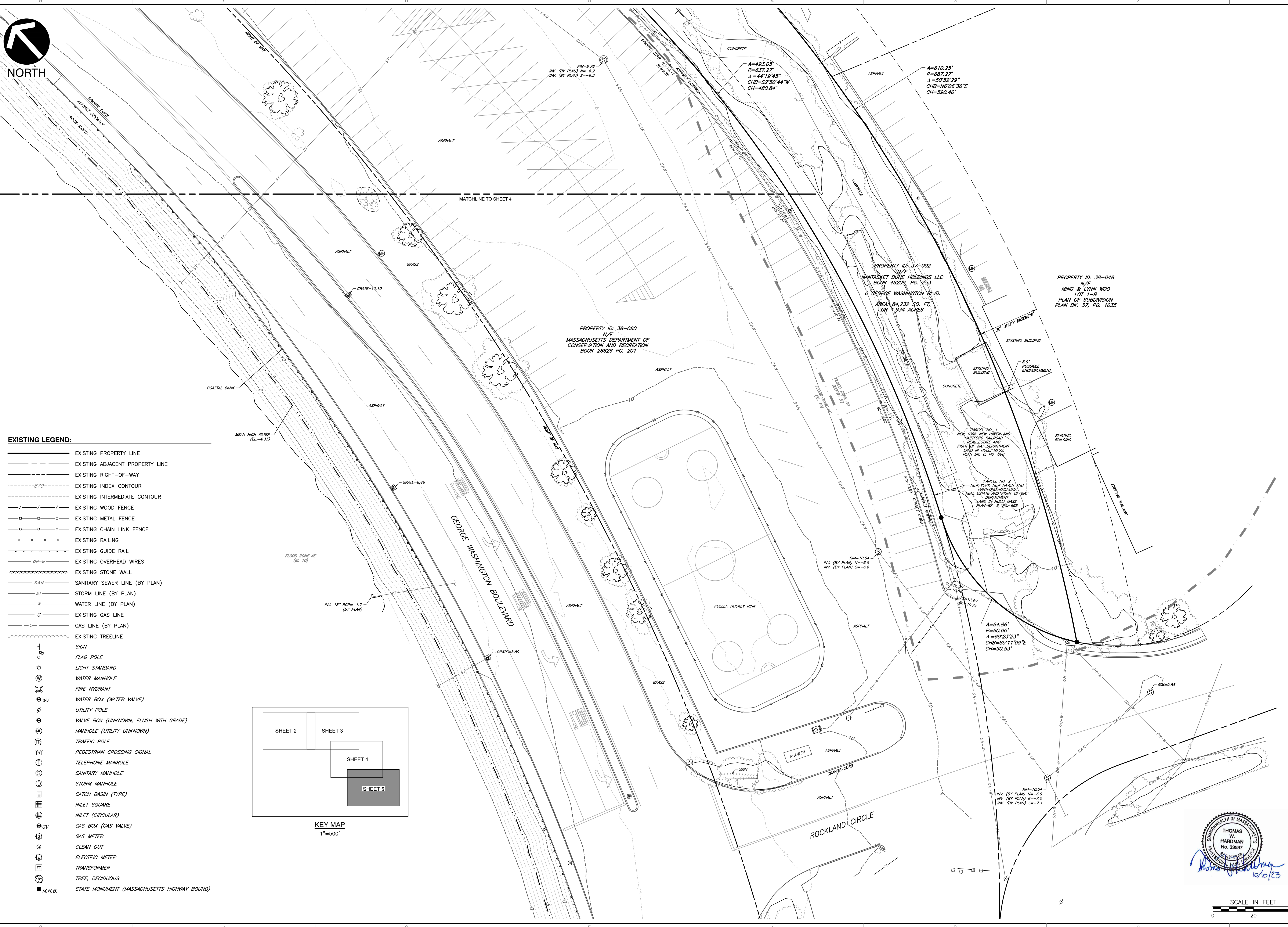
DATE:	SEPTEMBER 2023	DRAWN BY:	DJP
DWG SCALE:	1"=20'	TWHP	TWH
PROJECT NO:	334-762	CHECKED BY:	TWH
APPROVED BY:			

DRAWING NO: **SV-04**  
 SHEET 4 OF 5

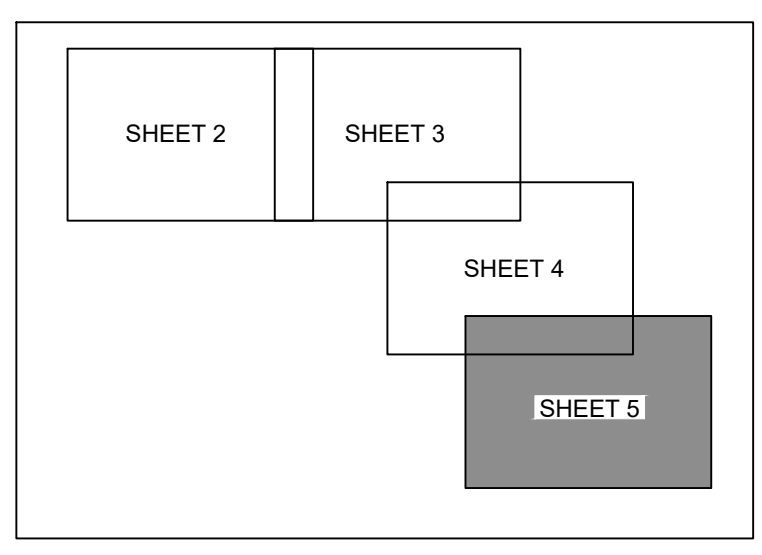
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NORTH



- EXISTING LEGEND:**
- EXISTING PROPERTY LINE
  - - - EXISTING ADJACENT PROPERTY LINE
  - - - - EXISTING RIGHT-OF-WAY
  - - - -870- - - EXISTING INDEX CONTOUR
  - - - - EXISTING INTERMEDIATE CONTOUR
  - / - / - EXISTING WOOD FENCE
  - o - o - EXISTING METAL FENCE
  - o - o - EXISTING CHAIN LINK FENCE
  - x - x - EXISTING RAILING
  - x - x - EXISTING GUIDE RAIL
  - OH-W - EXISTING OVERHEAD WIRES
  - - - - EXISTING STONE WALL
  - SAN - SANITARY SEWER LINE (BY PLAN)
  - ST - STORM LINE (BY PLAN)
  - W - WATER LINE (BY PLAN)
  - G - EXISTING GAS LINE
  - G - GAS LINE (BY PLAN)
  - - - - EXISTING TREELINE
  - SIGN
  - FLG - FLAG POLE
  - LS - LIGHT STANDARD
  - W - WATER MANHOLE
  - FH - FIRE HYDRANT
  - WV - WATER BOX (WATER VALVE)
  - U - UTILITY POLE
  - V - VALVE BOX (UNKNOWN, FLUSH WITH GRADE)
  - M - MANHOLE (UTILITY UNKNOWN)
  - T - TRAFFIC POLE
  - PC - PEDESTRIAN CROSSING SIGNAL
  - TM - TELEPHONE MANHOLE
  - SM - SANITARY MANHOLE
  - ST - STORM MANHOLE
  - CB - CATCH BASIN (TYPE)
  - IS - INLET SQUARE
  - IC - INLET (CIRCULAR)
  - GB - GAS BOX (GAS VALVE)
  - GM - GAS METER
  - CO - CLEAN OUT
  - EM - ELECTRIC METER
  - TR - TRANSFORMER
  - TD - TREE, DECIDUOUS
  - M.H.B. - STATE MONUMENT (MASSACHUSETTS HIGHWAY BOUND)



KEY MAP  
1"=500'

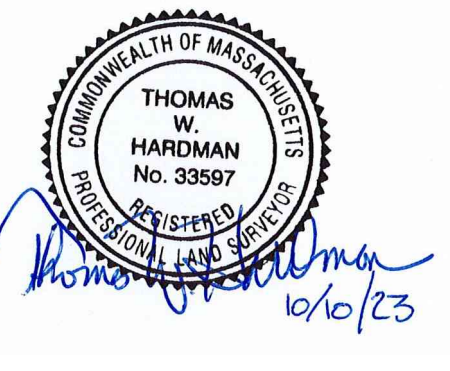
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NO.	DATE	REVISION RECORD	DESCRIPTION

**CEC**  
**Civil & Environmental Consultants, Inc.**  
 31 Bellows Road - Raynham, MA 02767  
 Ph: 774.501.2176 - 866.612.2024 - Fax: 774.501.2669  
 www.cecinc.com

**PROCOPIO COMPANIES**  
**PARAGON DUNES DEVELOPMENT**  
**189-197 NANTASKET AVE &**  
**0 GEORGE WASHINGTON BLVD.**  
**HULL, MA 01835**

EXISTING CONDITIONS PLAN	
DATE: SEPTEMBER 2023	DRAWN BY: DJP
DWG SCALE: 1"=20'	TWHP
PROJECT NO: 334-762	TW1
APPROVED BY:	TW1



SCALE IN FEET  
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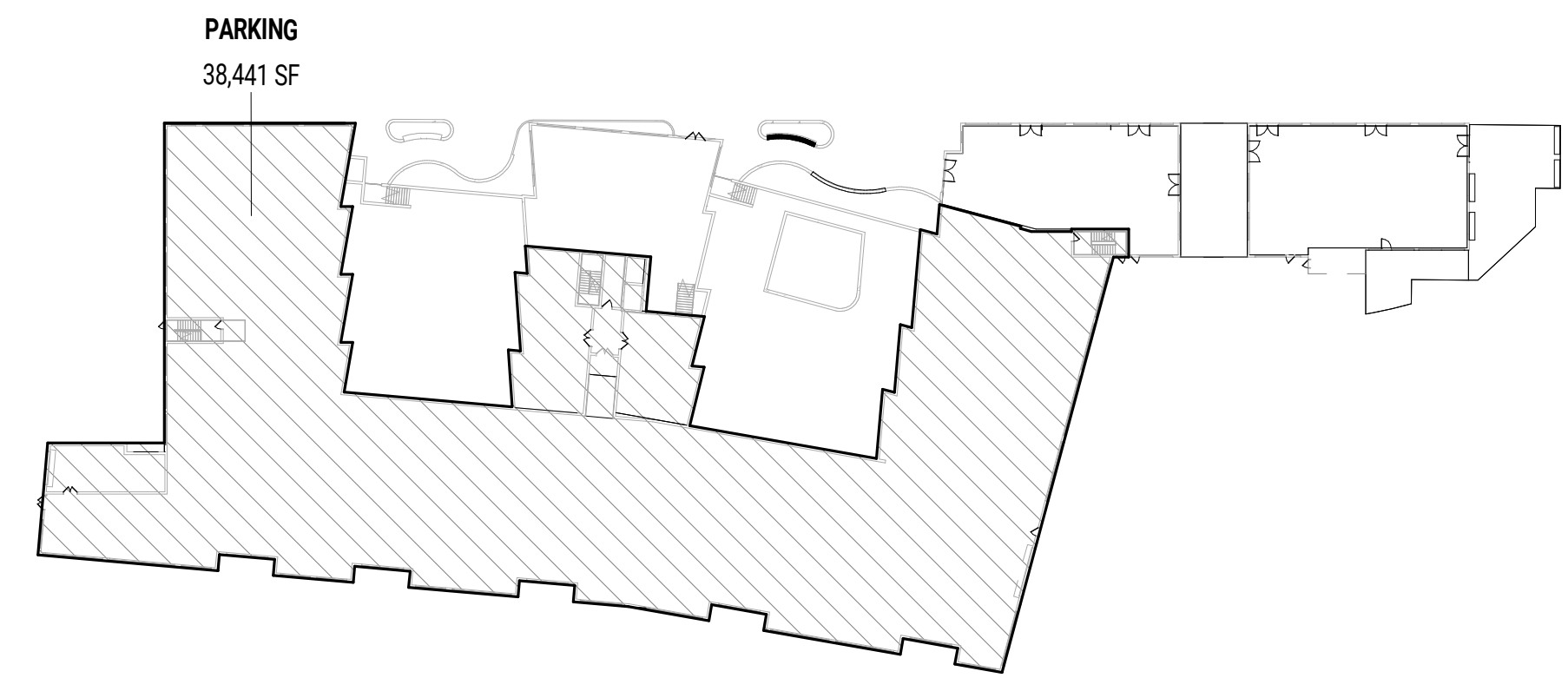


UNIT SUMMARY

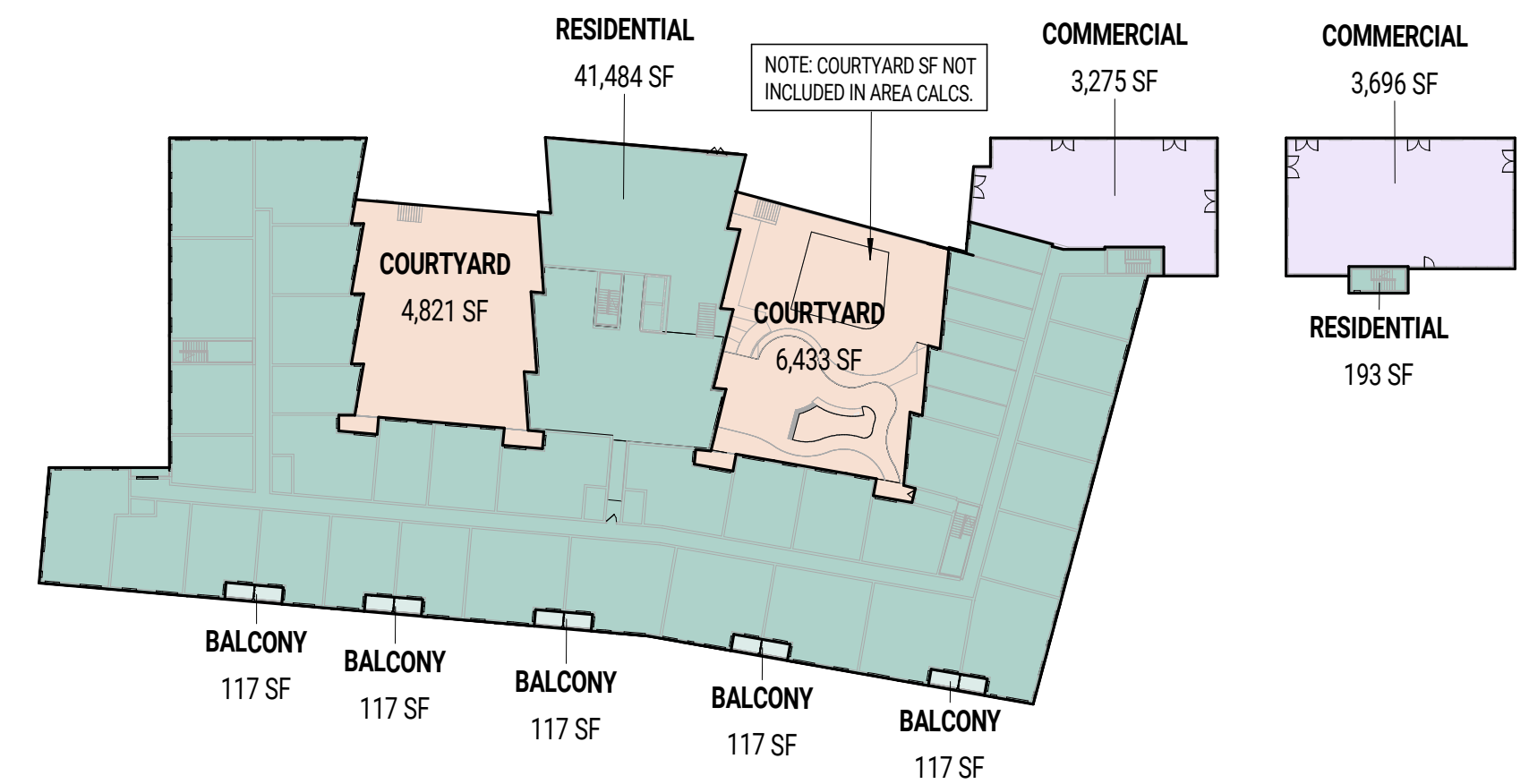
UNIT TYPE	COUNT	PERCENTAGE	PARKING REQ.
3 BED	1	34.1% +/-	2
2 BED + DEN	44	51.5% +/-	88
1 BED + DEN	68	9.9% +/-	68
STUDIO & 1 BED JR	19	4.5% +/-	19
<b>TOTALS</b>	<b>132</b>	<b>100%</b>	<b>177</b>

BUILDING AREA DIAGRAMS (GSF)

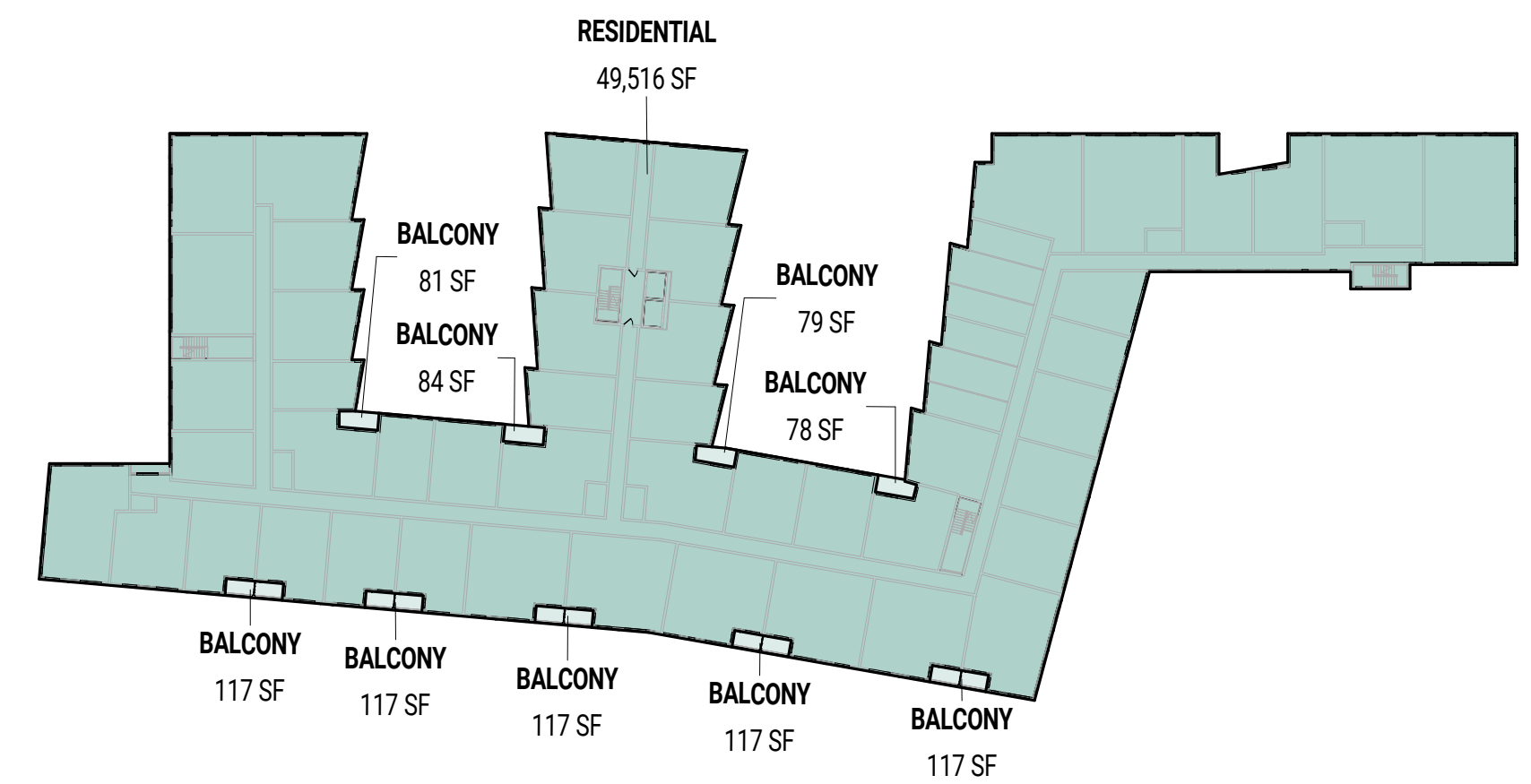
GSF SCHEDULE	
Name	Area
PARKING LEVEL	
PARKING	38,441 SF
1ST FLOOR	
BALCONY	583 SF
COMMERCIAL	6,971 SF
RESIDENTIAL	41,677 SF
2ND FLOOR	
BALCONY	905 SF
RESIDENTIAL	49,516 SF
3RD FLOOR	
BALCONY	3,181 SF
RESIDENTIAL	47,236 SF
TOTAL GSF:	188,511 SF



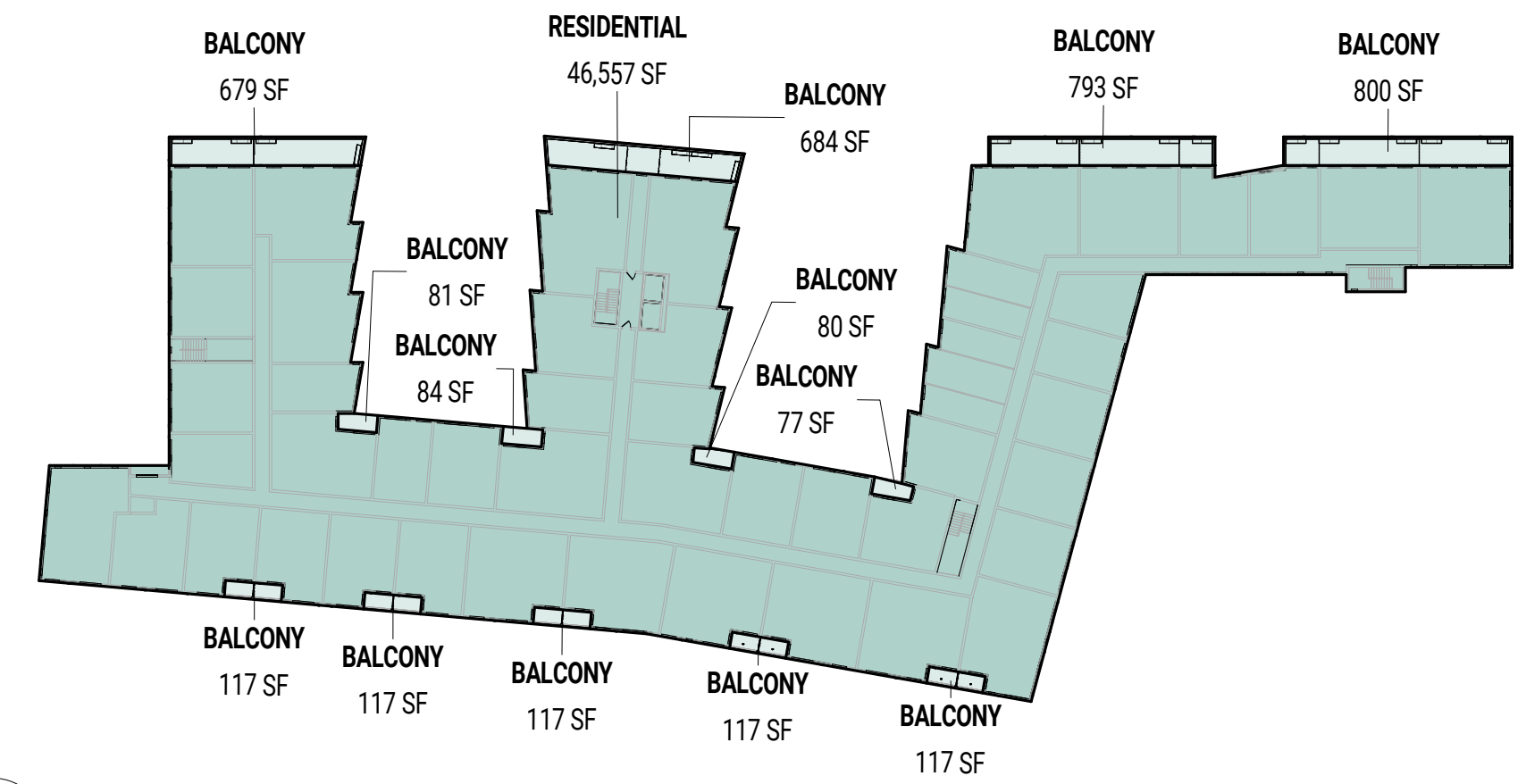
1 GSF DIAGRAM - PARKING LEVEL  
SCALE: 1" = 60'-0"



2 GSF DIAGRAM - 1ST FLOOR  
SCALE: 1" = 60'-0"



3 GSF DIAGRAM - 2ND FLOOR  
SCALE: 1" = 60'-0"



4 GSF DIAGRAM - 3RD FLOOR  
SCALE: 1" = 60'-0"



MONTE FRENCH DESIGN STUDIO (MFDS)  
650 COLUMBUS AVE, STE. A  
BOSTON MA, 02118  
T: 617-606-4496  
WWW.MFDS-BOS.COM

CONSULTANTS:

10/10/2023 for Permitting Submission  
(NOT FOR CONSTRUCTION)



MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:  
**PARAGON DUNES  
MIXED-USE  
REDEVELOPMENT**  
ADDRESS:  
197 NANTASKET AVE HULL, MA 02045  
DATE ISSUED: 10/10/2023  
PROJECT #: 21013  
SCALE: As indicated  
DRAWN BY: AY, TM, MN

PROGRAM SUMMARY

**G-003A**



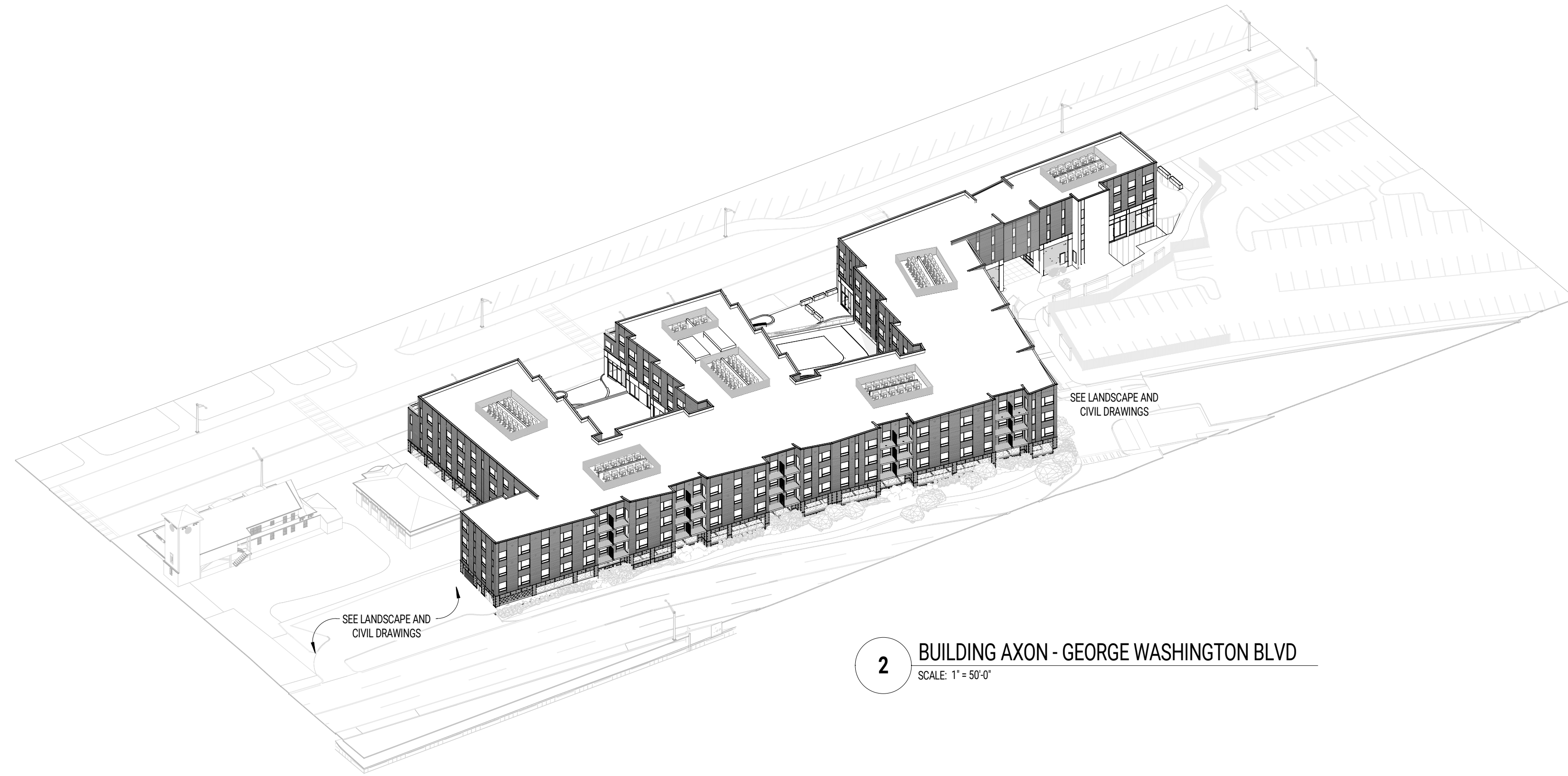
5 RENDERED PERSPECTIVE - VIEW NORTH DOWN GEORGE WASHINGTON BLVD



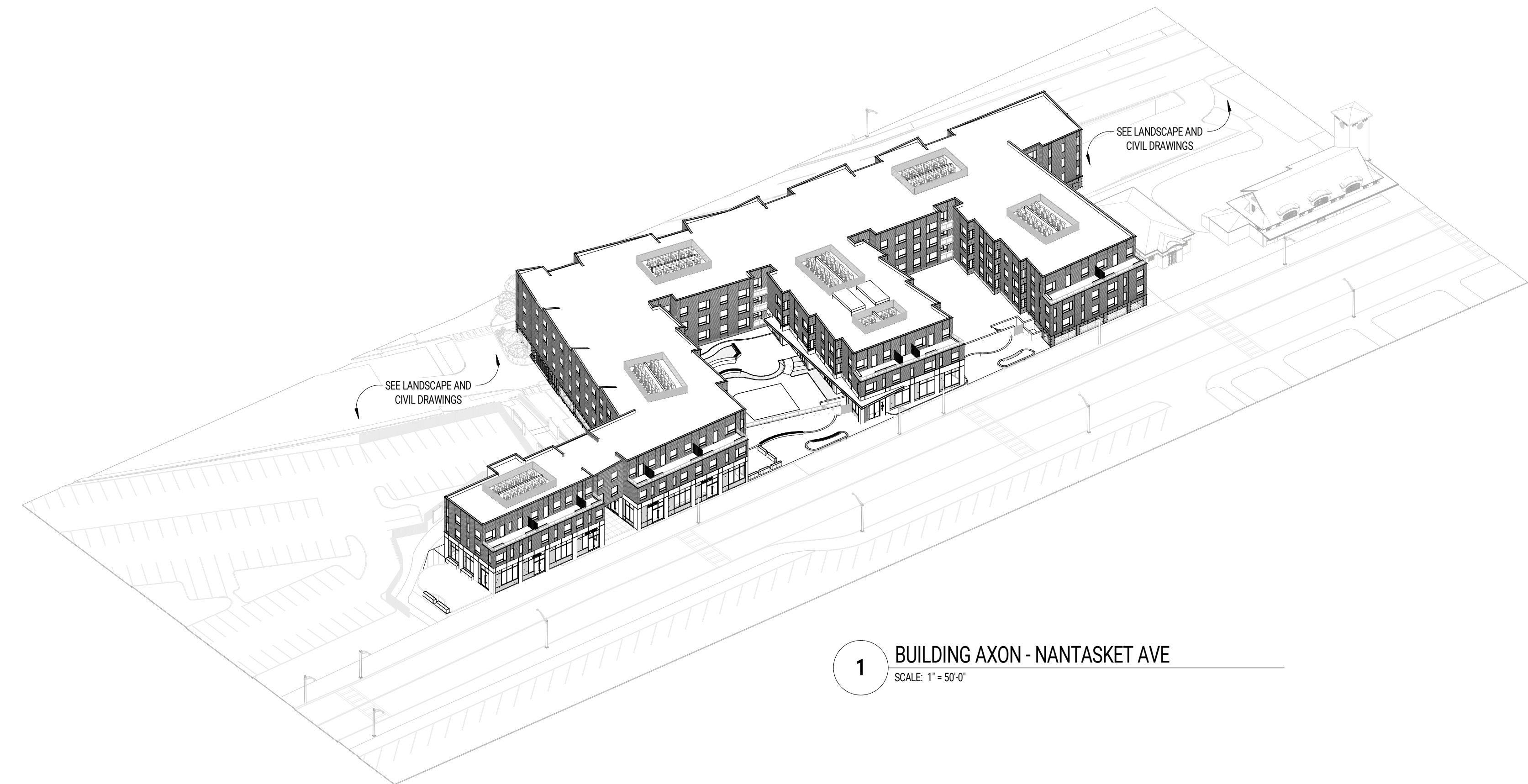
4 RENDERED PERSPECTIVE - VIEW WEST OF NANTASKET AVE COMMERCIAL & PARK SPACES



3 RENDERED PERSPECTIVE - VIEW NORTH DOWN NANTASKET AVE



2 BUILDING AXON - GEORGE WASHINGTON BLVD  
SCALE: 1" = 50'-0"



1 BUILDING AXON - NANTASKET AVE  
SCALE: 1" = 50'-0"

CONSULTANTS:

10/10/2023 for Permitting Submission  
(NOT FOR CONSTRUCTION)



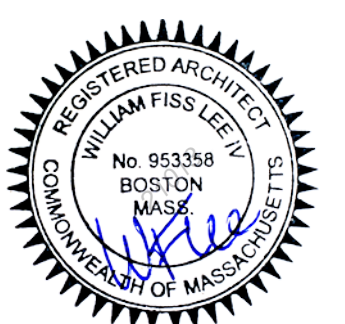
MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:  
**PARAGON DUNES  
MIXED-USE  
REDEVELOPMENT**  
ADDRESS:  
197 NANTASKET AVE HULL, MA 02045  
DATE ISSUED: 10/10/2023  
PROJECT #: 21013  
SCALE: 1" = 40'-0"  
DRAWN BY: AY, TM, MN

OVERALL BUILDING  
AXONOMETRICS &  
RENDERINGS

CONSULTANTS:

10/10/2023 for Permitting Submission  
(NOT FOR CONSTRUCTION)

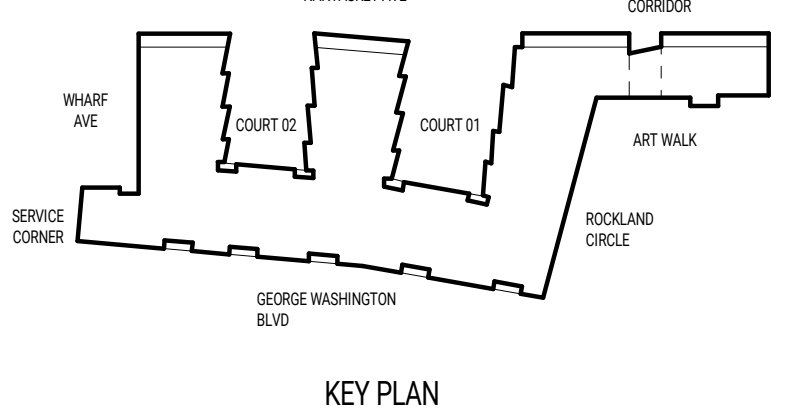
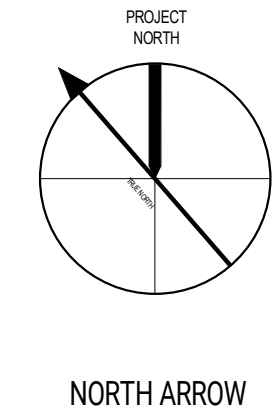
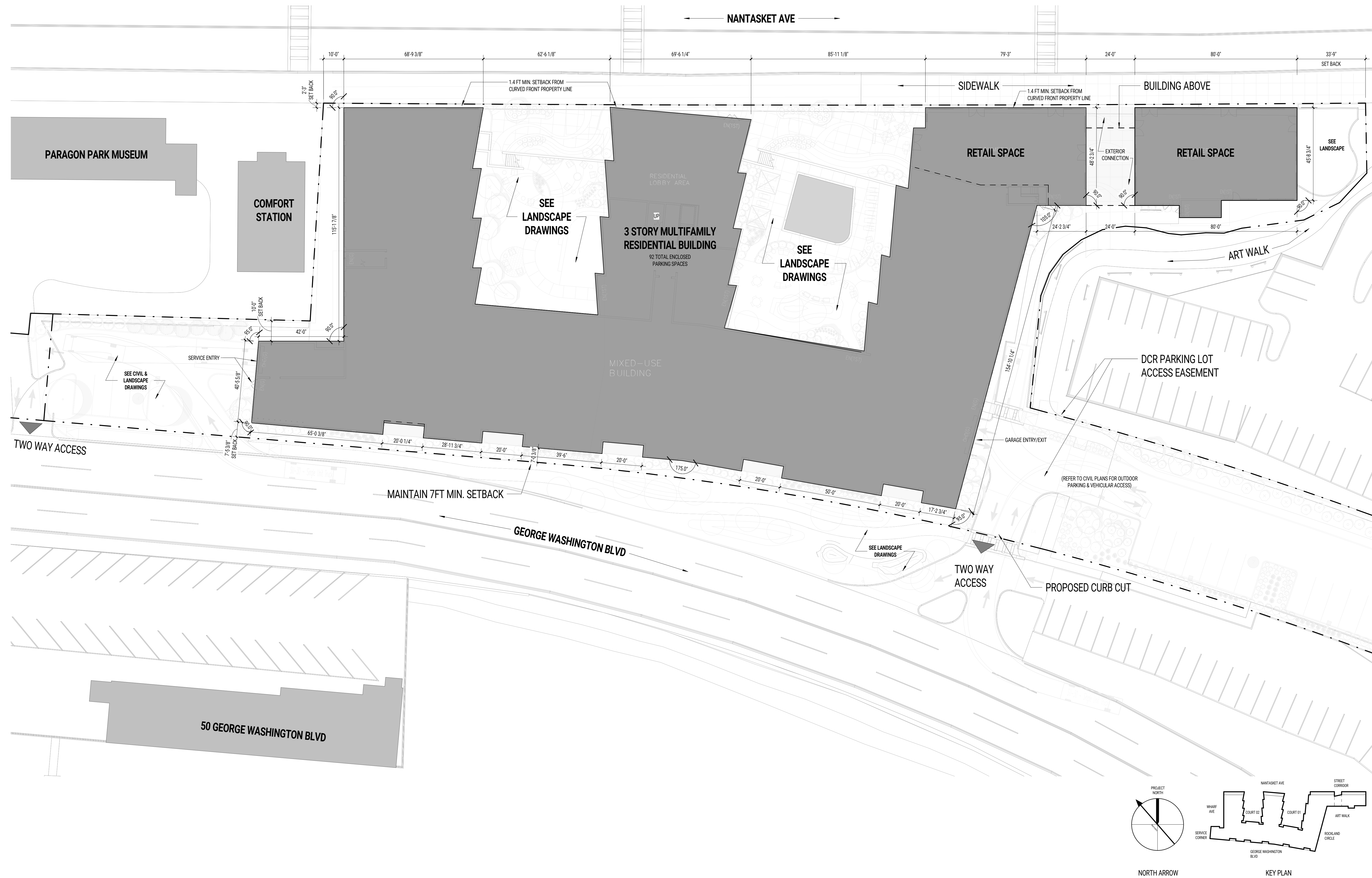


MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:  
**PARAGON DUNES MIXED-USE REDEVELOPMENT**  
ADDRESS:  
197 NANTASKET AVE HULL, MA 02045  
DATE ISSUED: 10/10/2023  
PROJECT #: 21013  
SCALE: 3/64" = 1'-0"  
DRAWN BY: AY, TM, MN

ARCHITECTURAL SITE PLAN

**AS002**



CONSULTANTS:

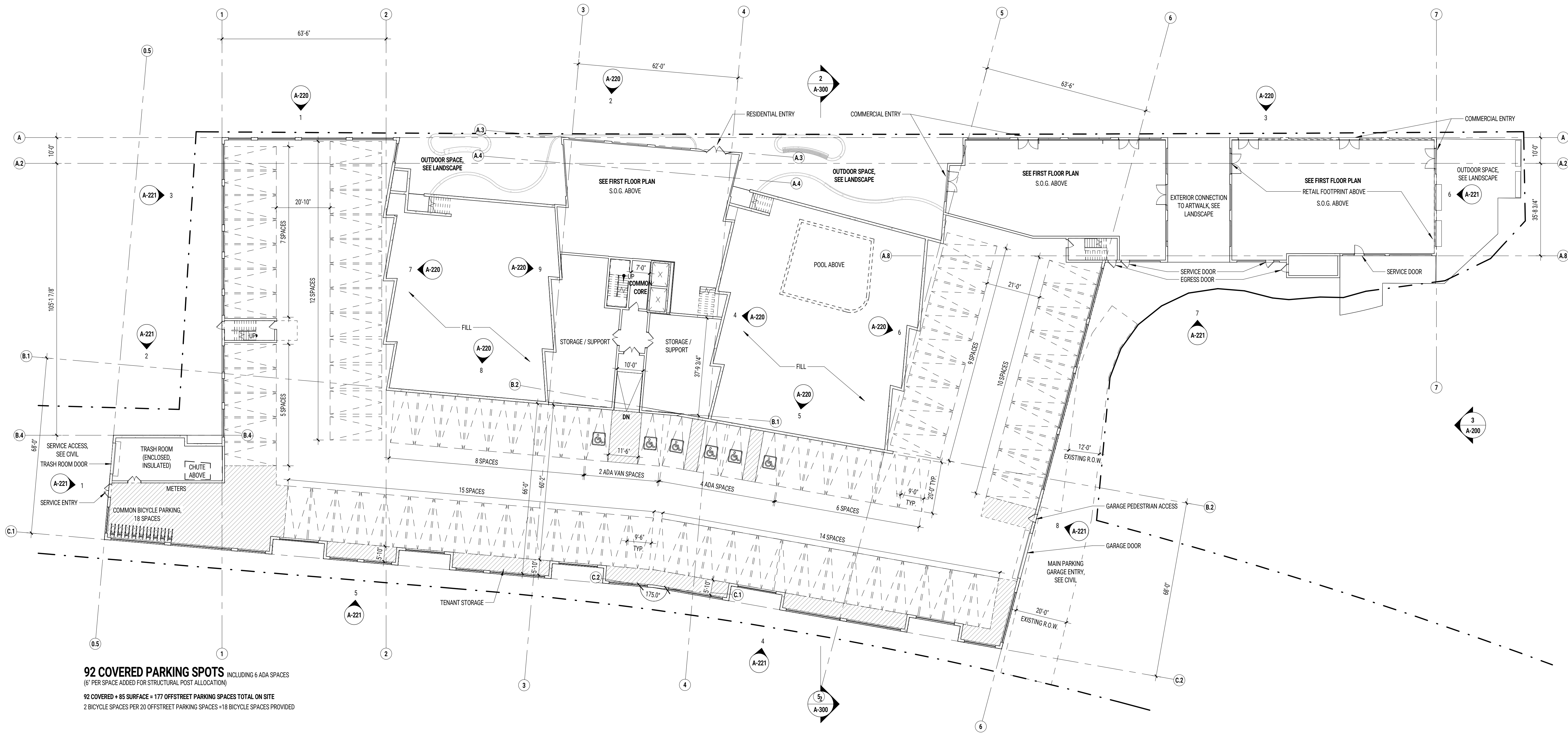
10/10/2023 for Permitting Submission  
(NOT FOR CONSTRUCTION)



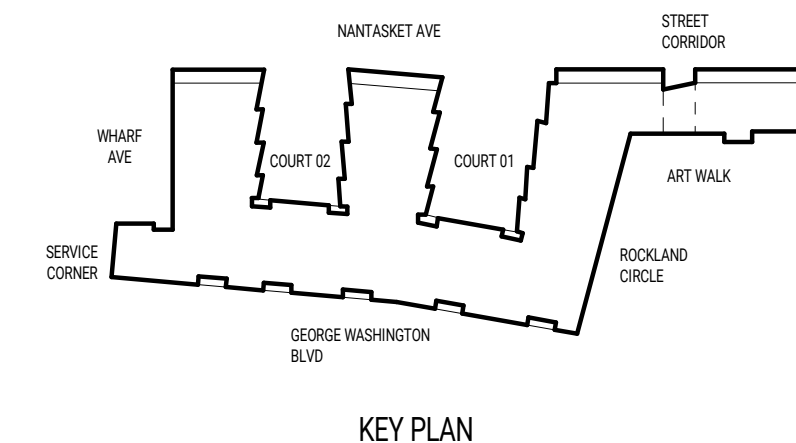
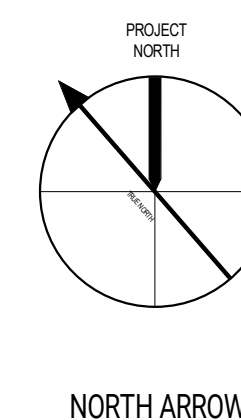
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ISSUE LOG:

PROJECT NAME:  
**PARAGON DUNES  
MIXED-USE  
REDEVELOPMENT**  
ADDRESS:  
197 NANTASKET AVE HULL, MA 02045  
DATE ISSUED: 10/10/2023  
PROJECT #: 21013  
SCALE: 1" = 20'-0"  
DRAWN BY: AY, TM, MN

FLOOR PLAN - PARKING LEVEL



**92 COVERED PARKING SPOTS** INCLUDING 6 ADA SPACES  
(6' PER SPACE ADDED FOR STRUCTURAL POST ALLOCATION)  
92 COVERED + 85 SURFACE = 177 OFFSTREET PARKING SPACES TOTAL ON SITE  
2 BICYCLE SPACES PER 20 OFFSTREET PARKING SPACES = 18 BICYCLE SPACES PROVIDED

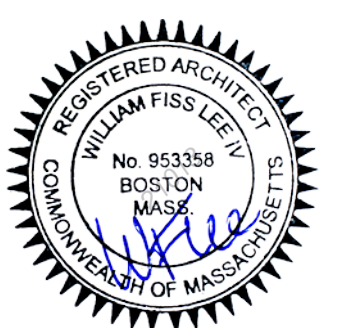


NORTH ARROW

KEY PLAN

CONSULTANTS:

10/10/2023 for Permitting Submission  
(NOT FOR CONSTRUCTION)



MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:  
**PARAGON DUNES  
MIXED-USE  
REDEVELOPMENT**

ADDRESS:  
197 NANTASKET AVE HULL, MA 02045

DATE ISSUED: 10/10/2023

PROJECT #: 21013

SCALE: 1" = 20'-0"

DRAWN BY: AY, TM, MN

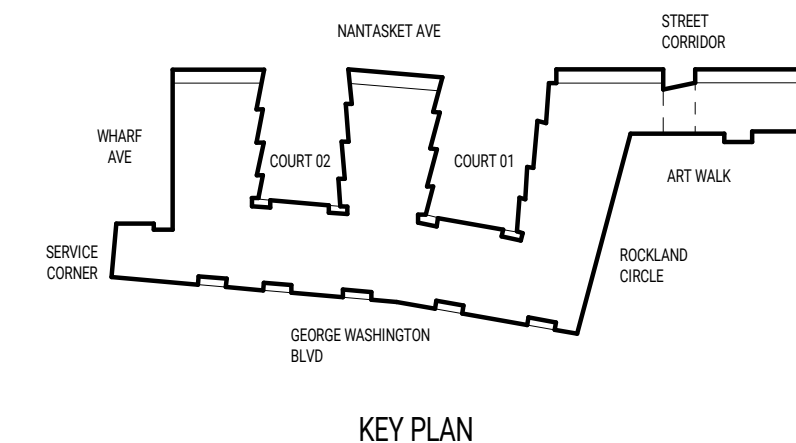
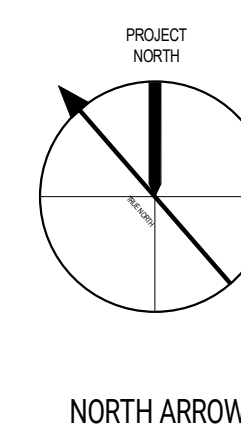
FLOOR PLAN - 1ST FLOOR

## A-102a



### UNIT & AMENITY TYPES

STUDIO	2 BED	LOBBY / AMENITY	VERT. CIRCU.
1 BED JR	2 BED DEN	PRIVATE COURTYARD	COMMERCIAL
1 BED	3 BED	CORRIDOR	POCKET PARK
1 BED DEN	AMENITY	UTL.	



CONSULTANTS:

10/10/2023 for Permitting Submission  
(NOT FOR CONSTRUCTION)



MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:  
**PARAGON DUNES  
MIXED-USE  
REDEVELOPMENT**

ADDRESS:  
197 NANTASKET AVE HULL, MA 02045

DATE ISSUED: 10/10/2023  
PROJECT #: 21013  
SCALE: 1" = 20'-0"  
DRAWN BY: AY, TM, MN

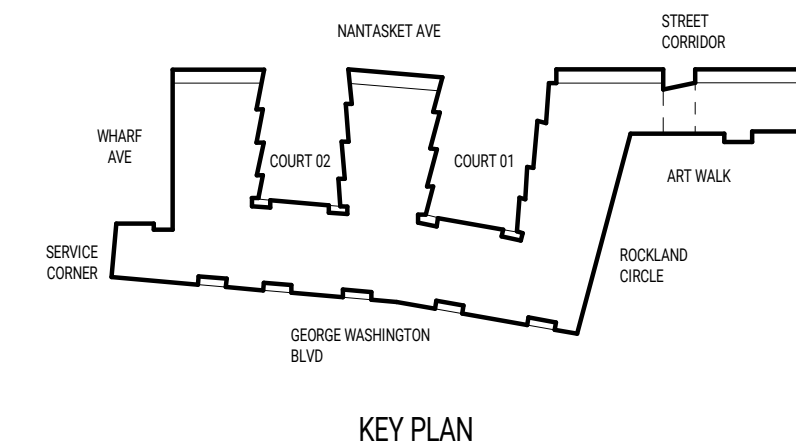
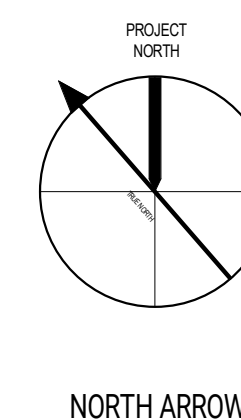
FLOOR PLAN - 2ND FLOOR

## A-103a



### UNIT & AMENITY TYPES

STUDIO	2 BED	LOBBY / AMENITY	VERT. CIRCU.
1 BED JR	2 BED DEN	PRIVATE COURTYARD	COMMERCIAL
1 BED	3 BED	CORRIDOR	POCKET PARK
1 BED DEN	AMENITY	UTL.	



CONSULTANTS:

10/10/2023 for Permitting Submission  
(NOT FOR CONSTRUCTION)



MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:  
**PARAGON DUNES  
MIXED-USE  
REDEVELOPMENT**  
ADDRESS:  
197 NANTASKET AVE HULL, MA 02045  
DATE ISSUED: 10/10/2023  
PROJECT #: 21013  
SCALE: 1" = 20'-0"  
DRAWN BY: AY, TM, MN

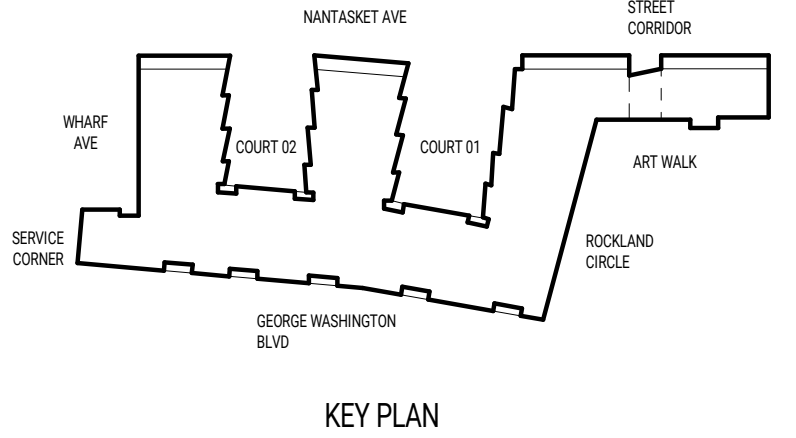
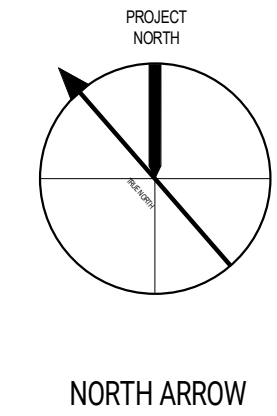
FLOOR PLAN - 3RD FLOOR

**A-104a**



**UNIT & AMENITY TYPES**

STUDIO	2 BED	LOBBY / AMENITY	VERT. CIRCU.
1 BED JR	2 BED DEN	PRIVATE COURTYARD	COMMERCIAL
1 BED	3 BED	CORRIDOR	POCKET PARK
1 BED DEN	AMENITY	UTL.	



CONSULTANTS:

10/10/2023 for Permitting Submission  
(NOT FOR CONSTRUCTION)

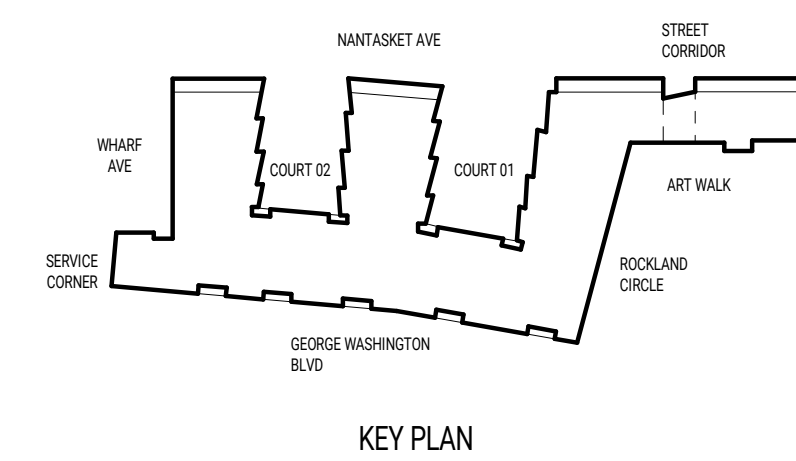
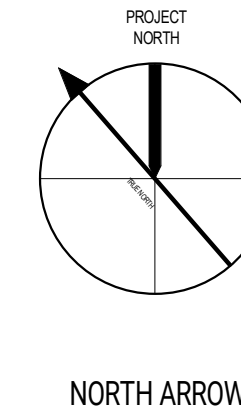
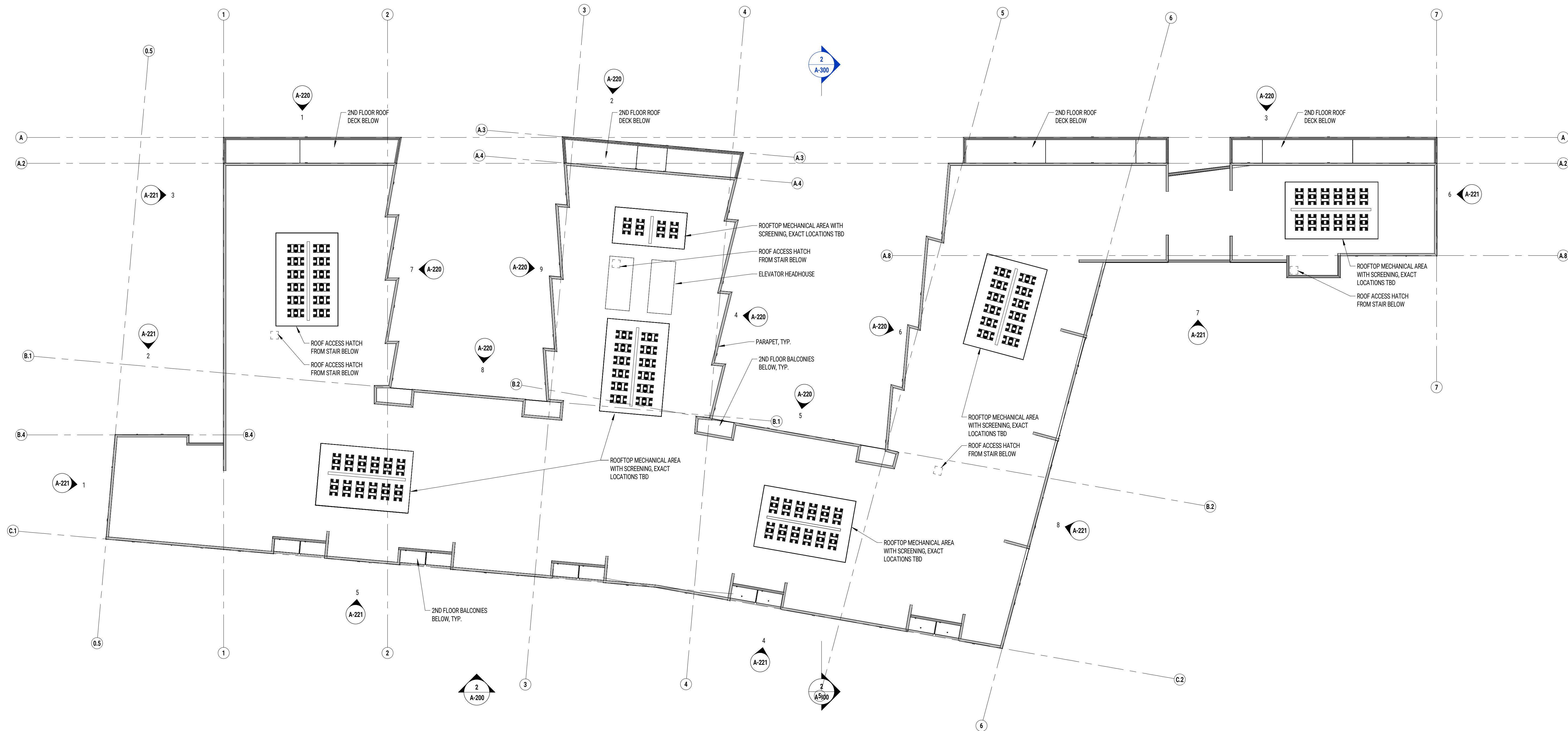


MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:  
**PARAGON DUNES  
MIXED-USE  
REDEVELOPMENT**  
ADDRESS:  
197 NANTASKET AVE HULL, MA 02045  
DATE ISSUED: 10/10/2023  
PROJECT #: 21013  
SCALE: 1" = 20'-0"  
DRAWN BY: AY, TM, MN

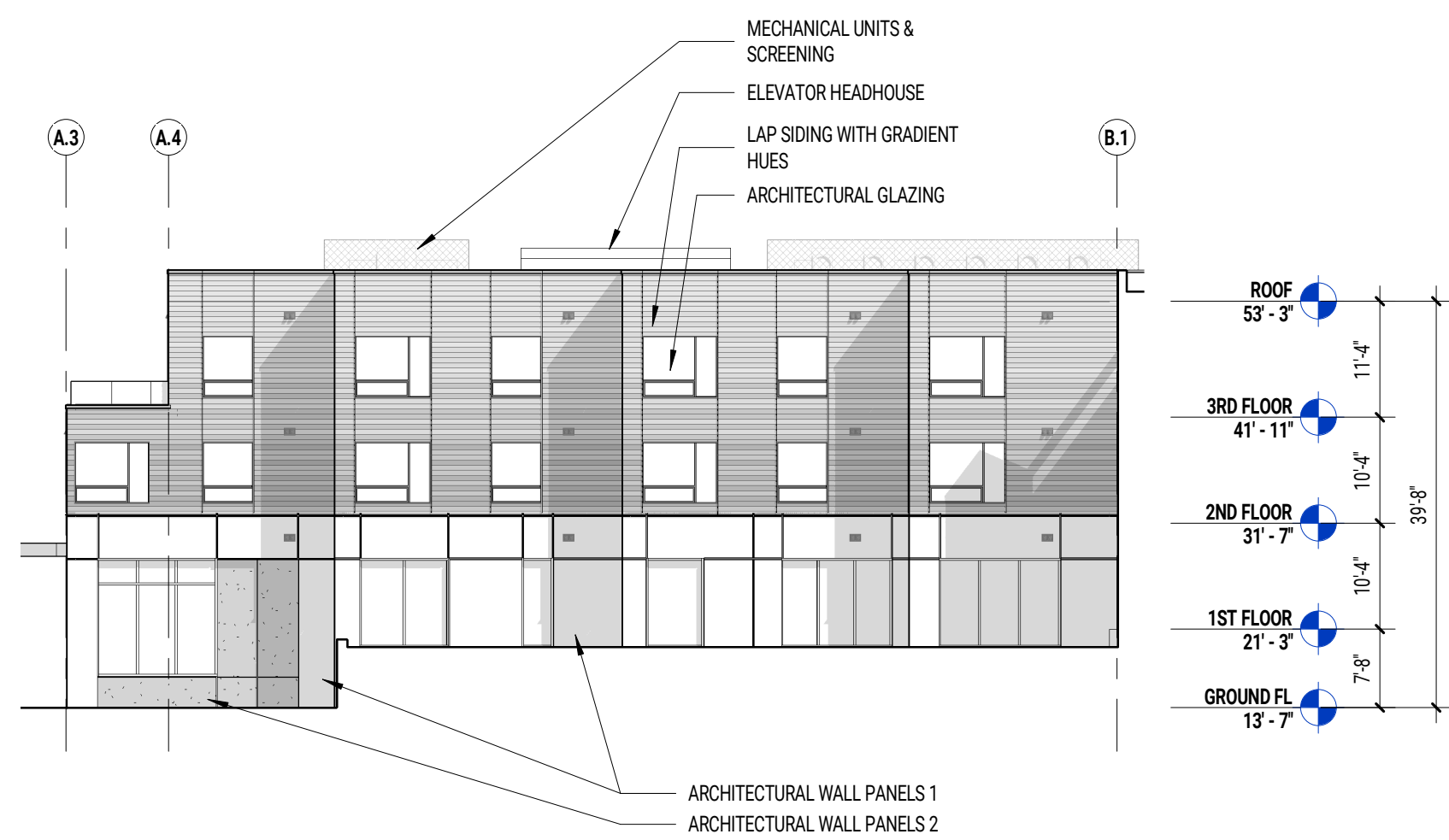
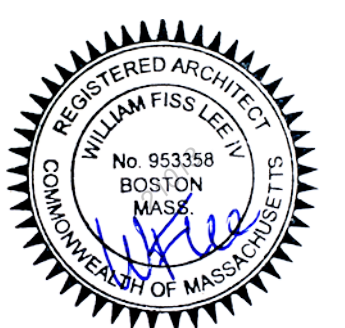
ROOF PLAN

## A-105

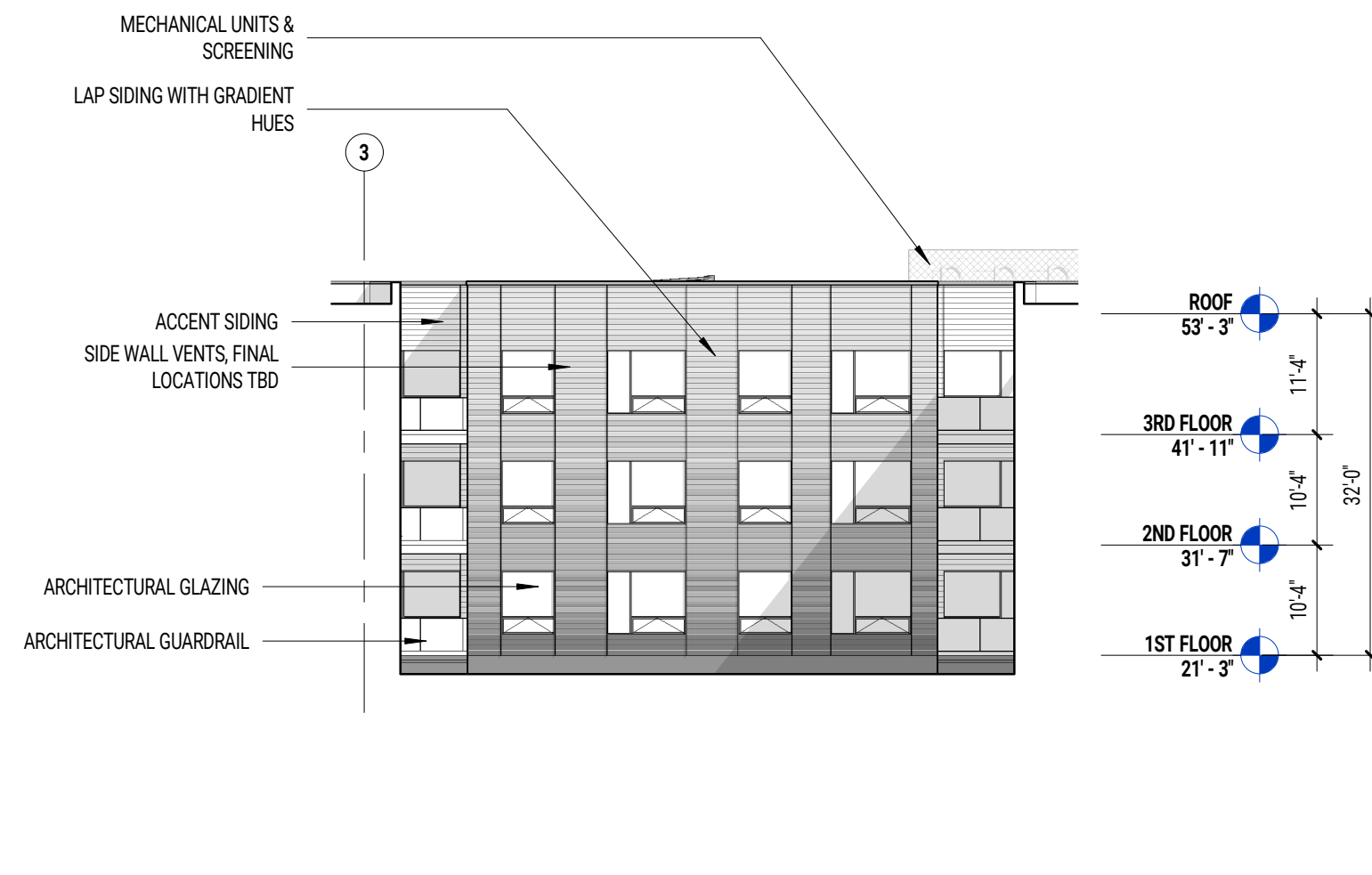


KEY PLAN

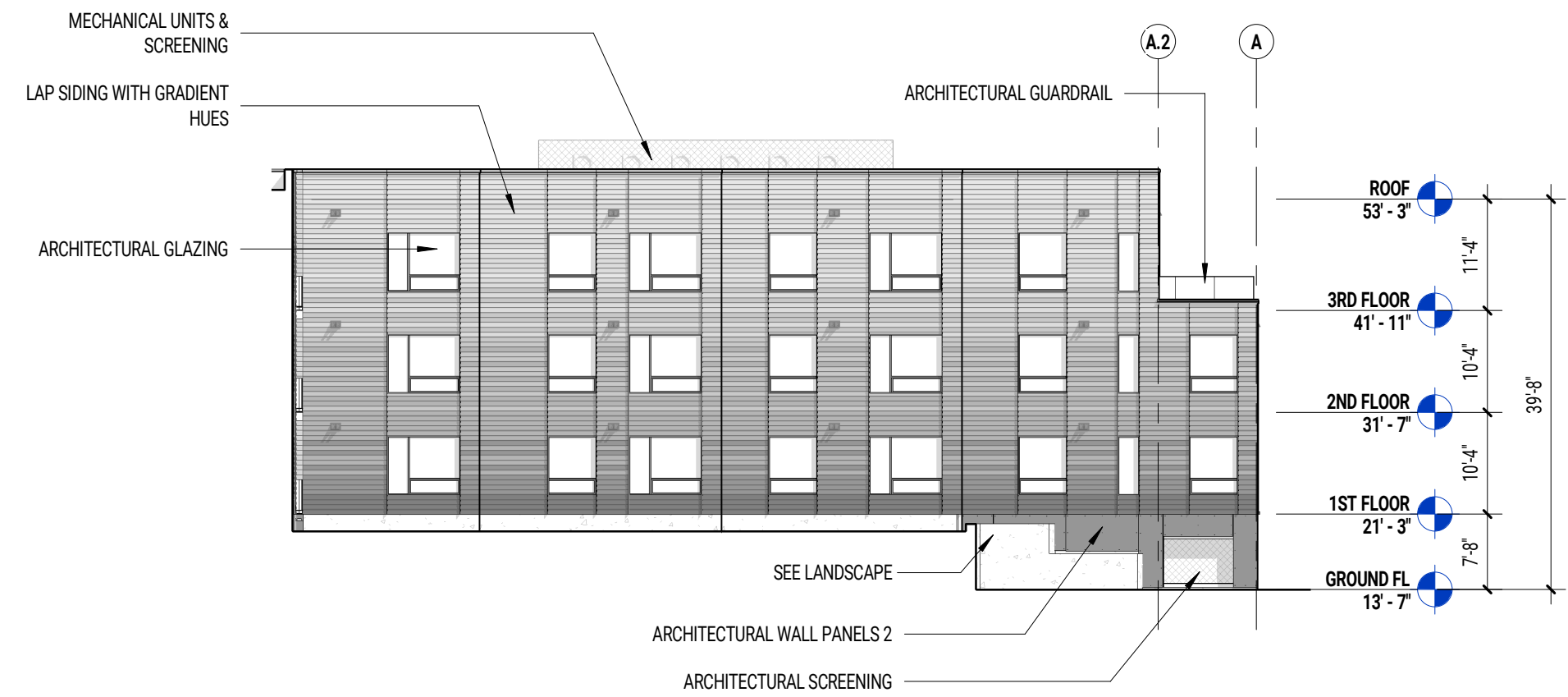




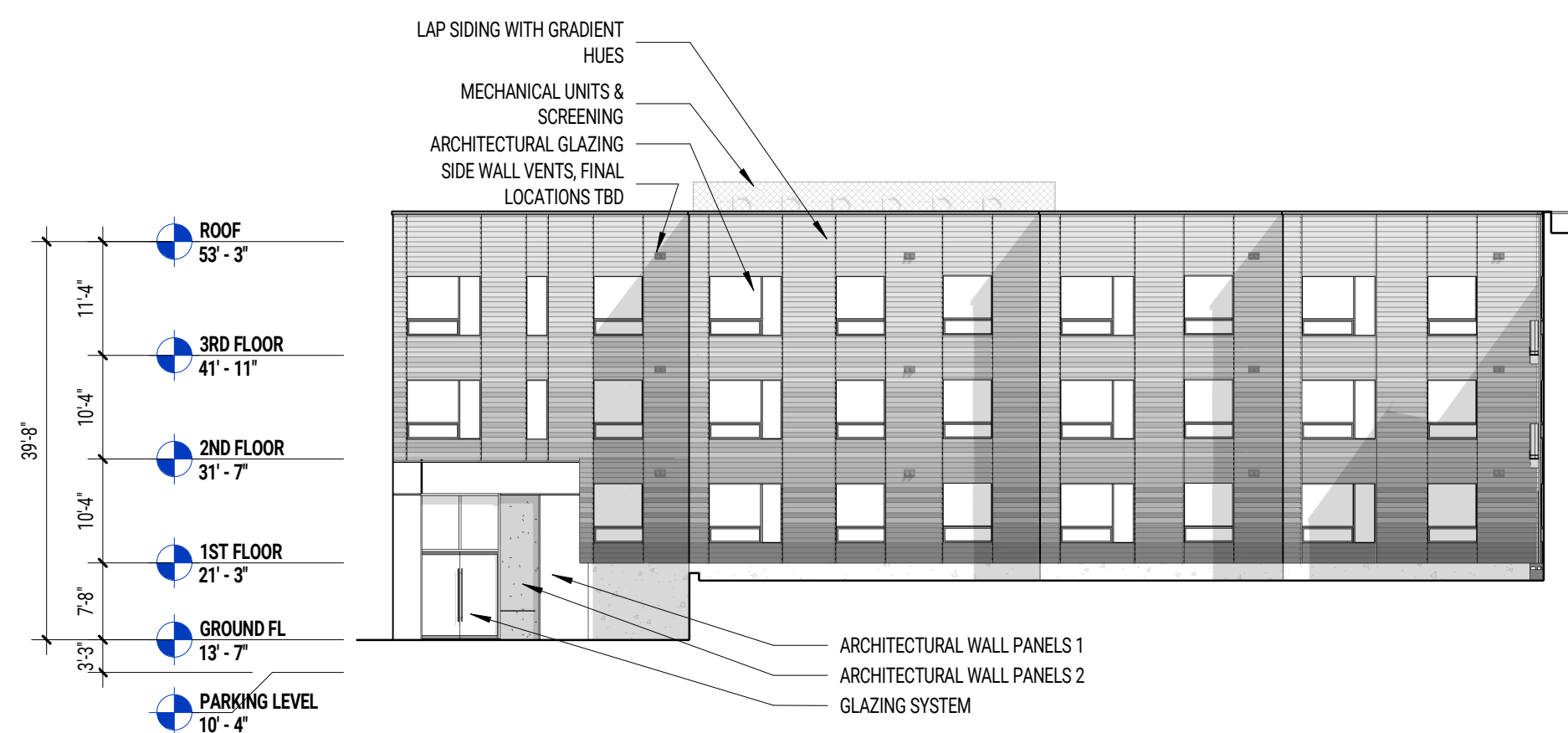
**9** COURTYARD 02 - SAWTOOTH BAYS 01  
SCALE: 1/16" = 1'-0"



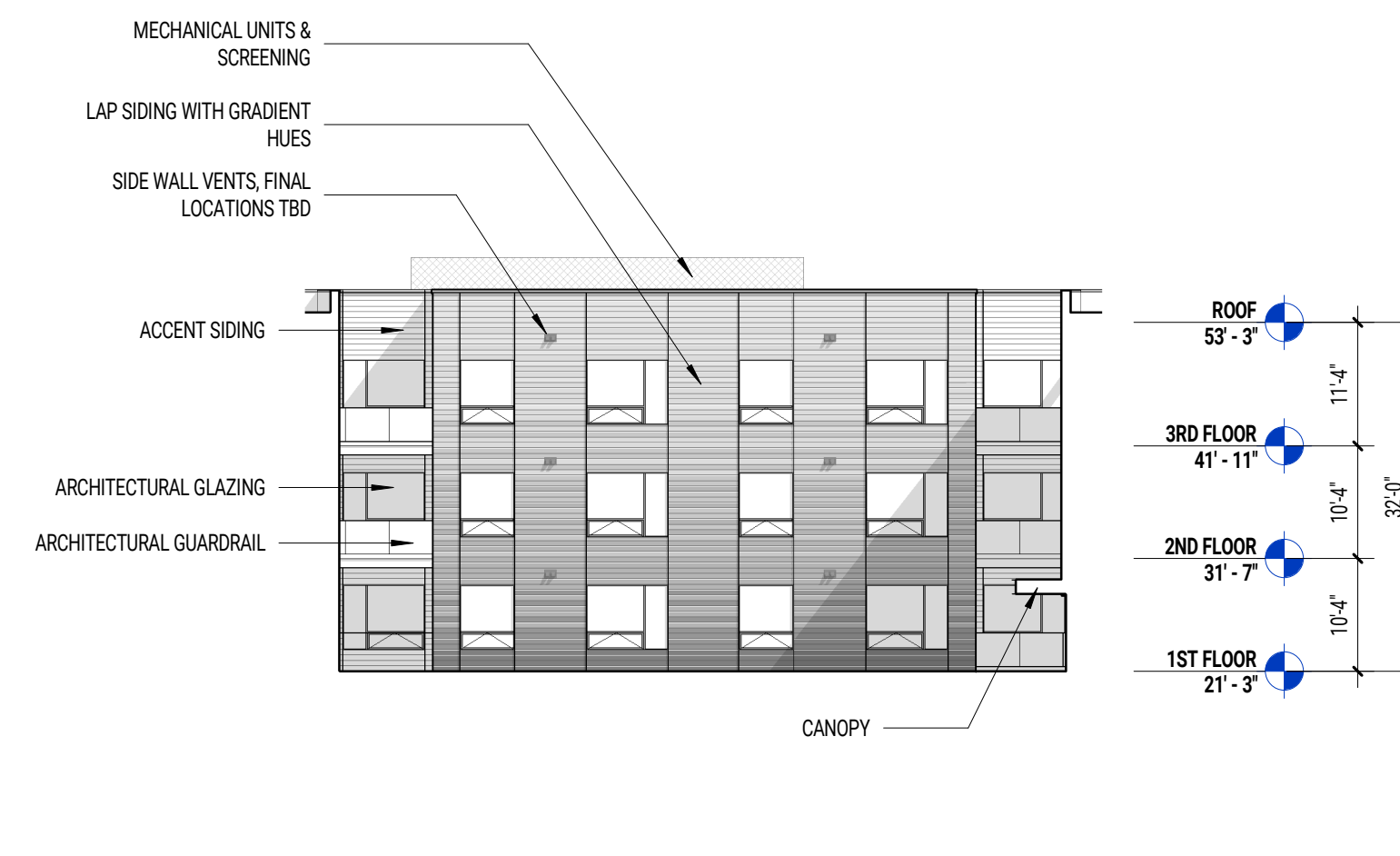
**8** COURTYARD 02 - NANTASKET AVE  
SCALE: 1/16" = 1'-0"



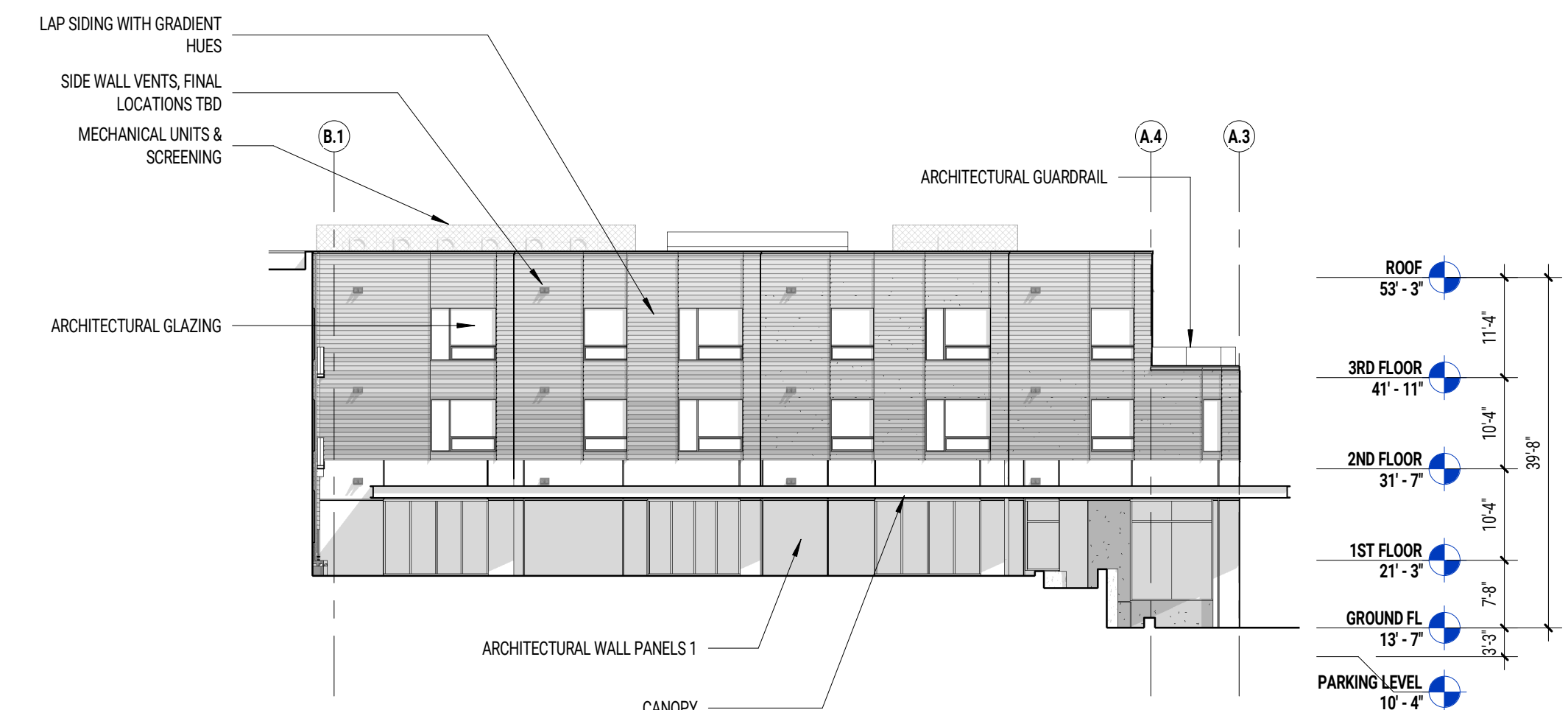
**7** COURTYARD 02 - SAWTOOTH BAYS 02  
SCALE: 1/16" = 1'-0"



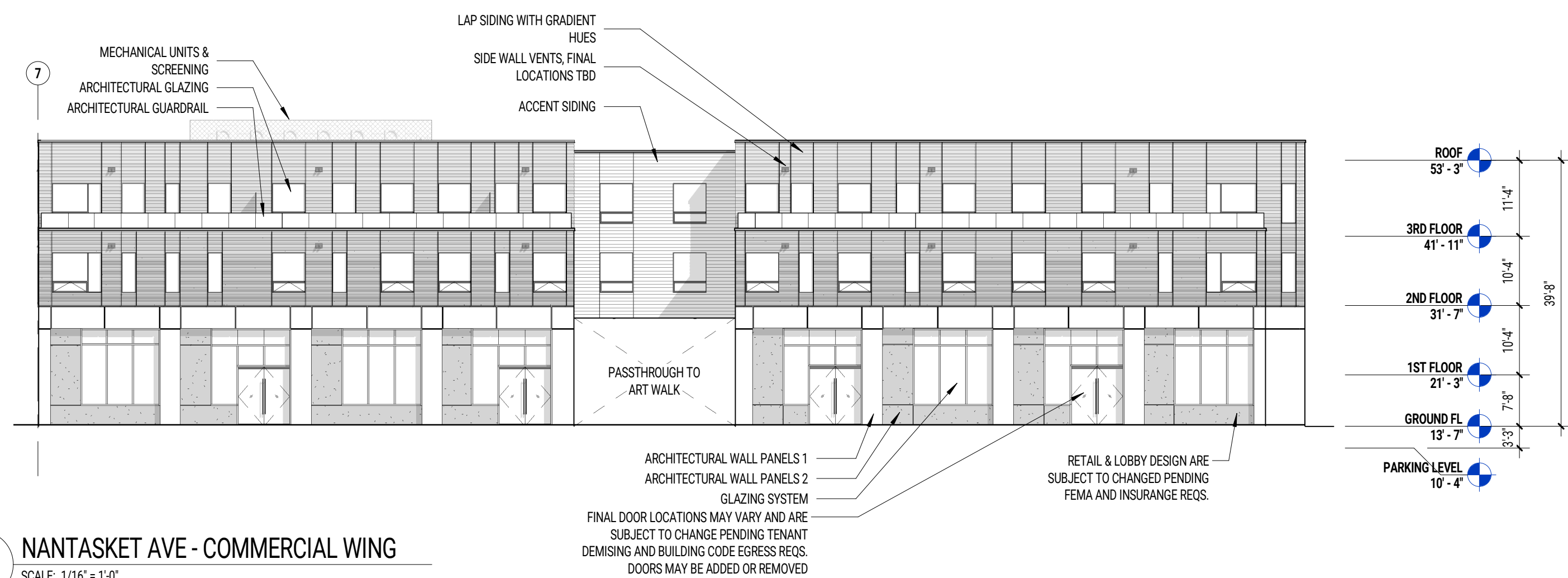
**6** COURTYARD 01 - SAWTOOTH BAYS 01  
SCALE: 1/16" = 1'-0"



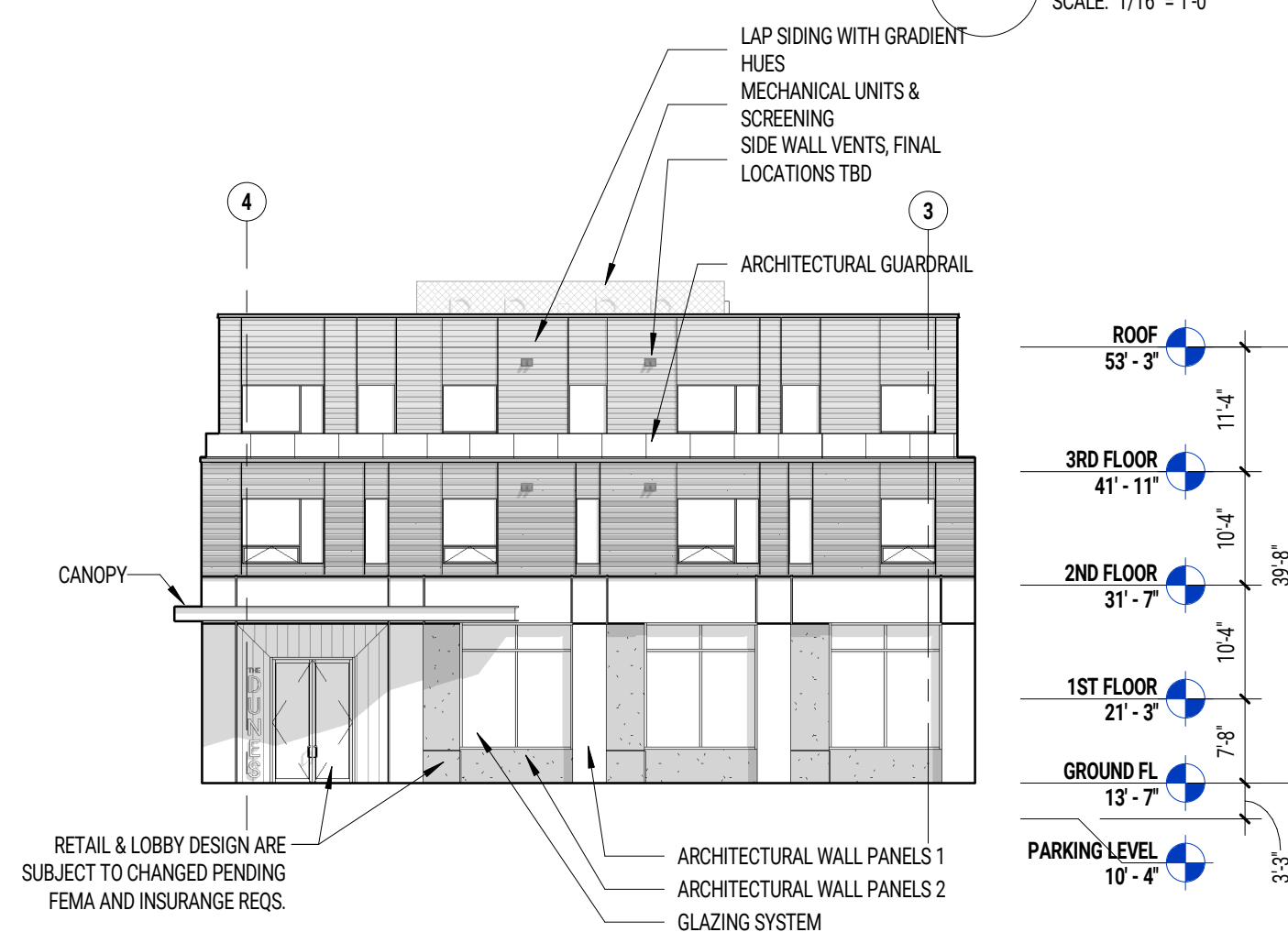
**5** COURTYARD 01 - NANTASKET AVE  
SCALE: 1/16" = 1'-0"



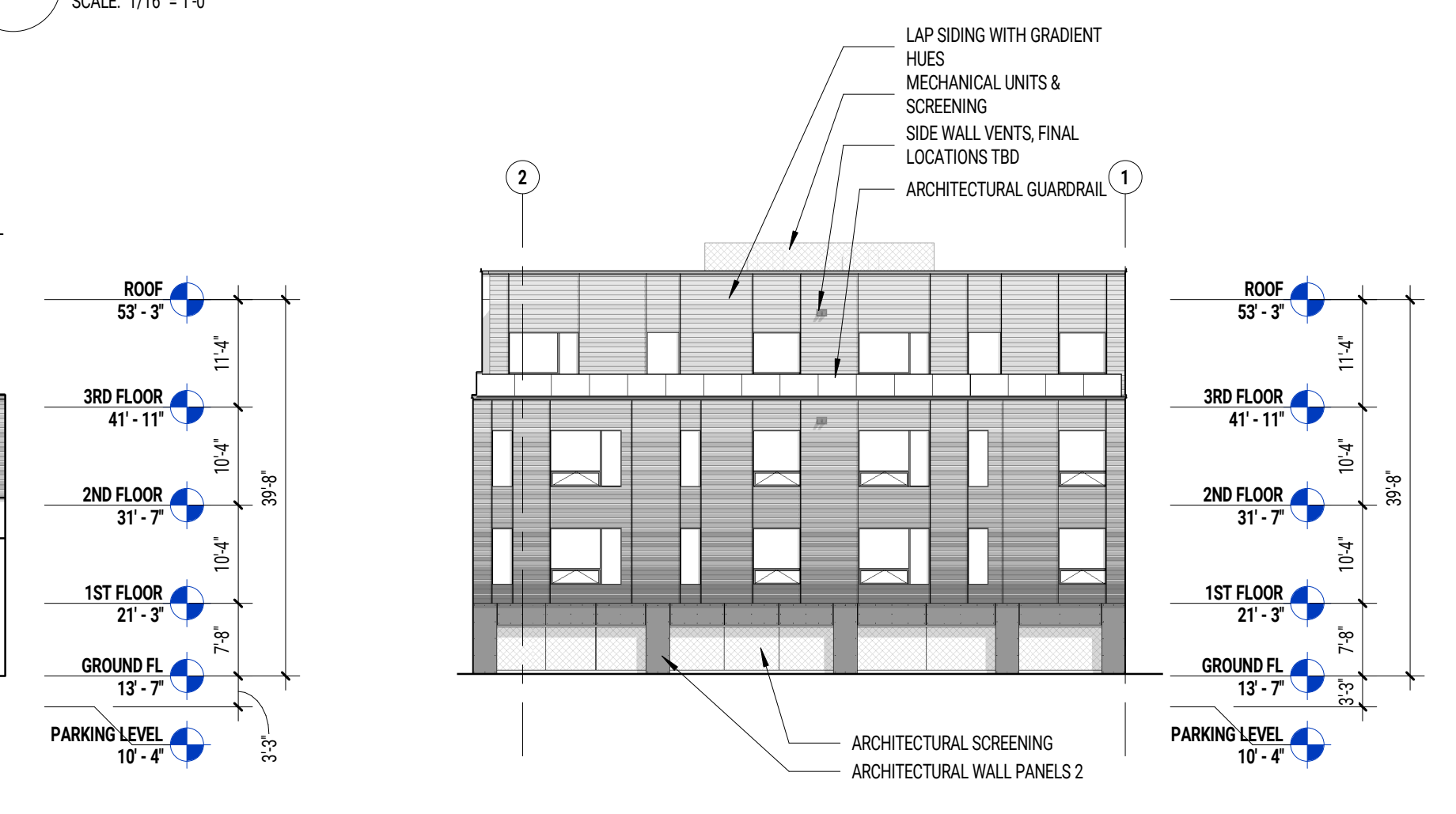
**4** COURTYARD 01 - SAWTOOTH BAYS 02  
SCALE: 1/16" = 1'-0"



**3** NANTASKET AVE - COMMERCIAL WING  
SCALE: 1/16" = 1'-0"

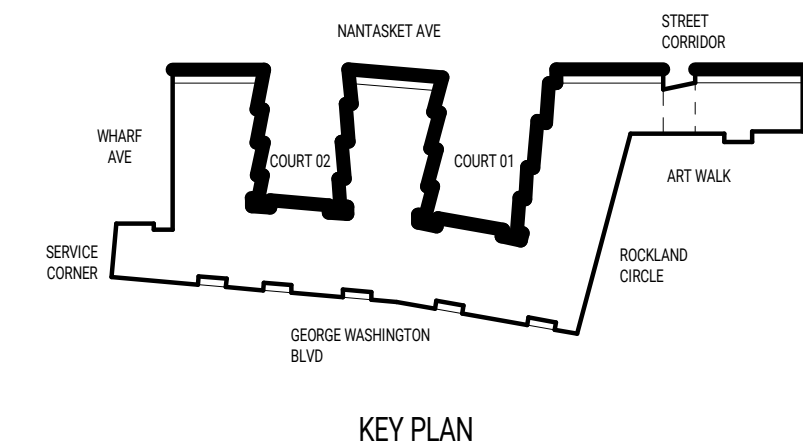
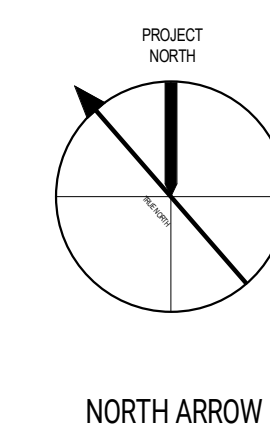


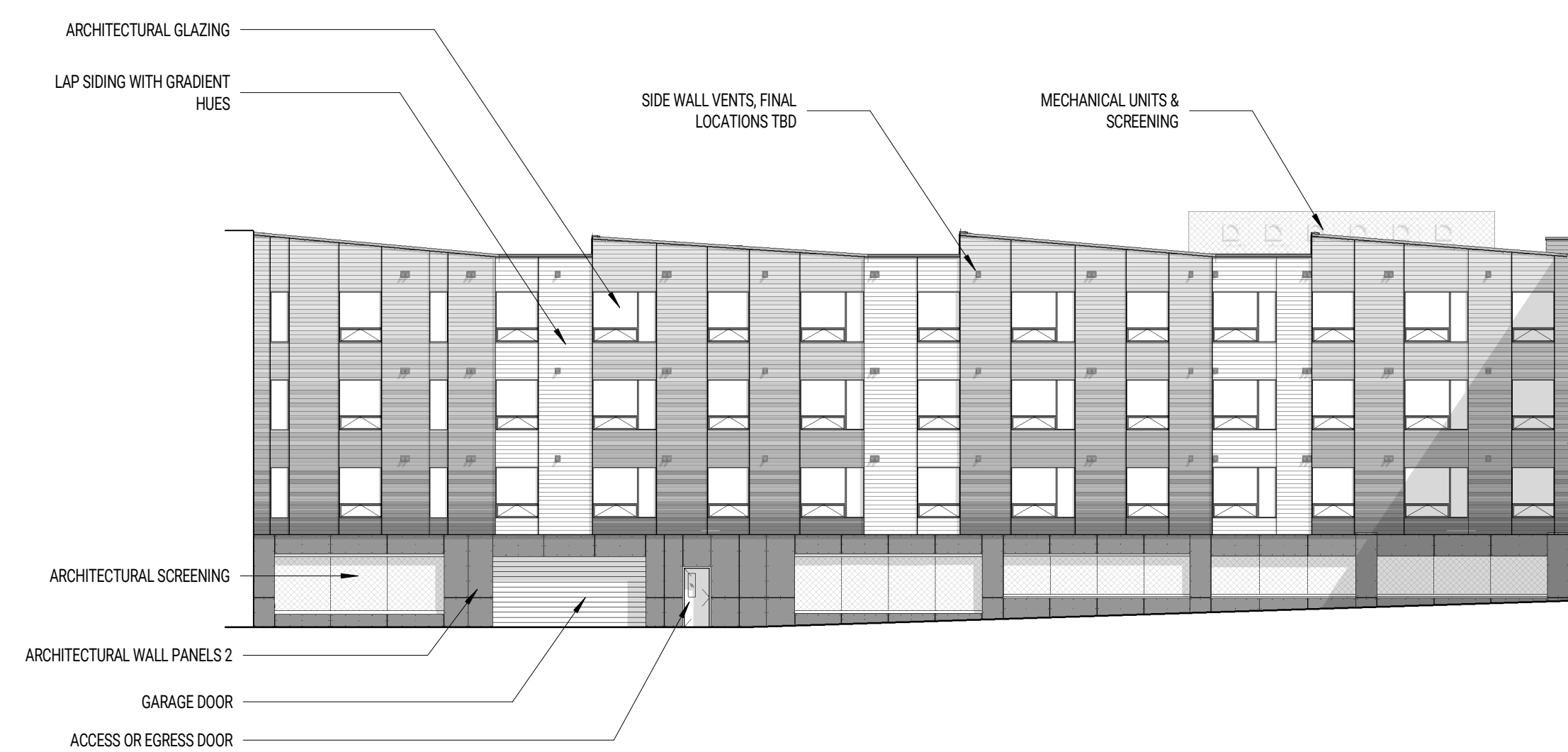
**2** NANTASKET AVE - RESIDENTIAL ENTRY  
SCALE: 1/16" = 1'-0"



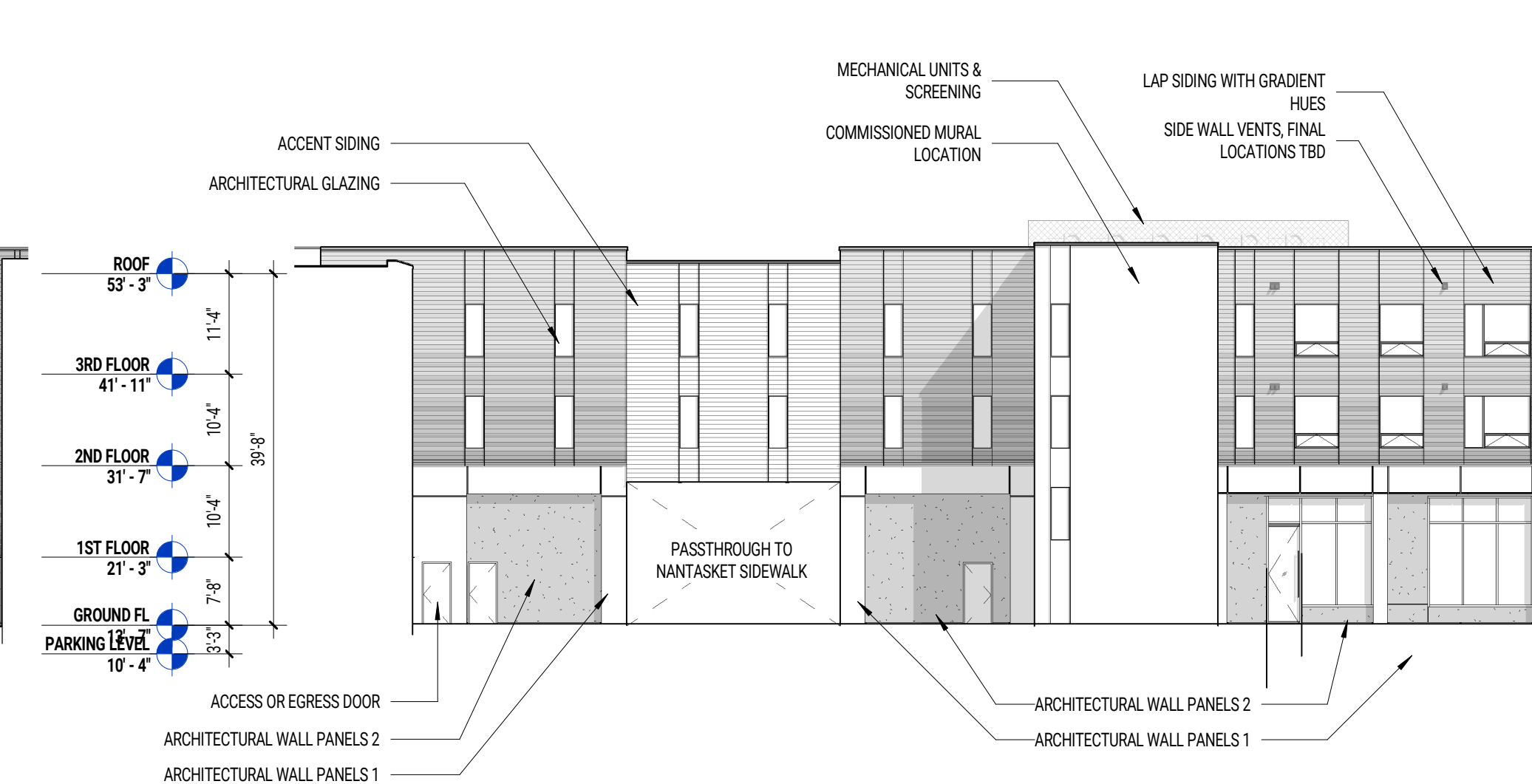
**1** NANTASKET AVE - SOUTH WING  
SCALE: 1/16" = 1'-0"

EXTERIOR LEGEND	
ACCENT SIDING	
ACCESS OR EGRESS DOOR	
ARCHITECTURAL GLAZING	
ARCHITECTURAL GUARDRAIL	
ARCHITECTURAL SCREENING	
ARCHITECTURAL WALL PANELS 1	
ARCHITECTURAL WALL PANELS 2	
BALCONY DIVIDER SCREEN	
CANOPY	
COMMISSIONED MURAL LOCATION	
ELEVATOR HEADHOUSE	
GARAGE DOOR	
GLAZING SYSTEM	
LAP SIDING WITH GRADIENT HUES	
MECHANICAL UNITS & SCREENING	
SIDE WALL VENTS, FINAL LOCATIONS TBD	

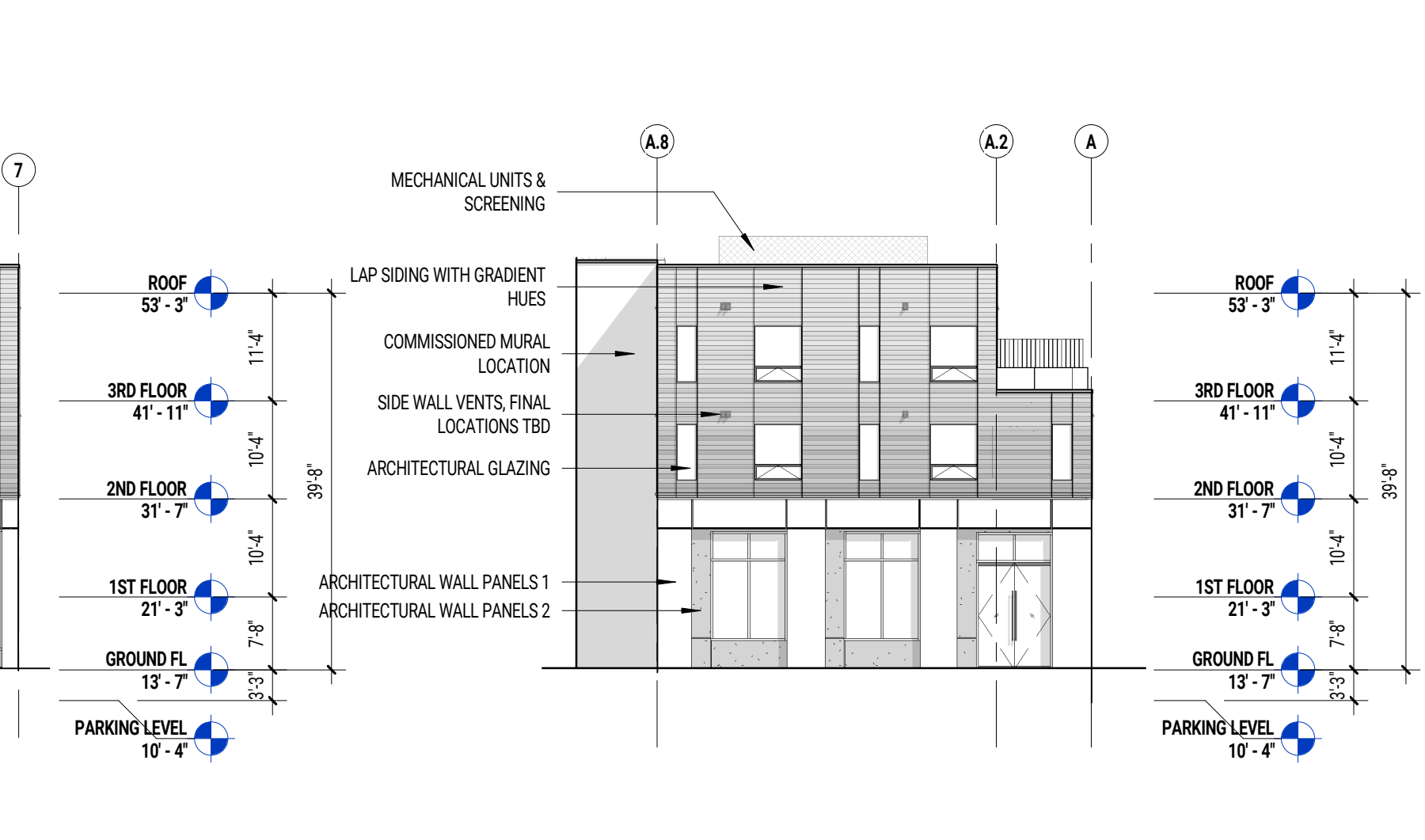




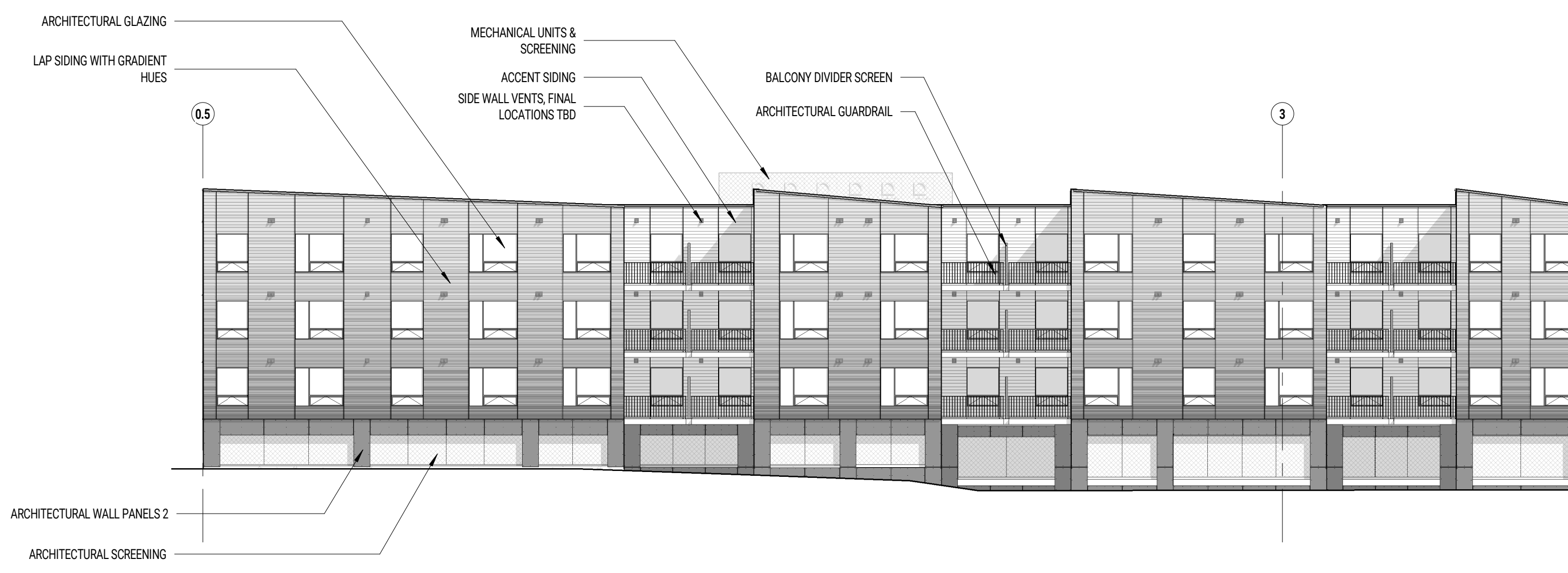
**8 ROCKLAND CIRCLE**  
SCALE: 1/16" = 1'-0"



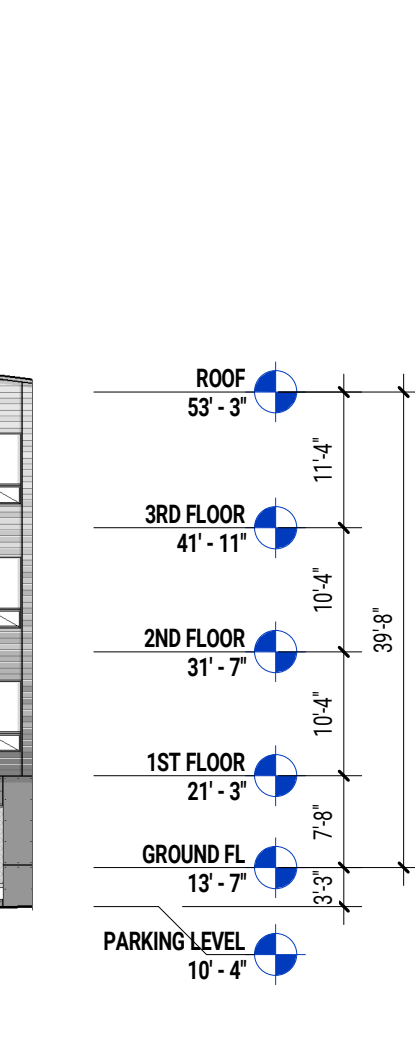
**7 ART WALK**  
SCALE: 1/16" = 1'-0"



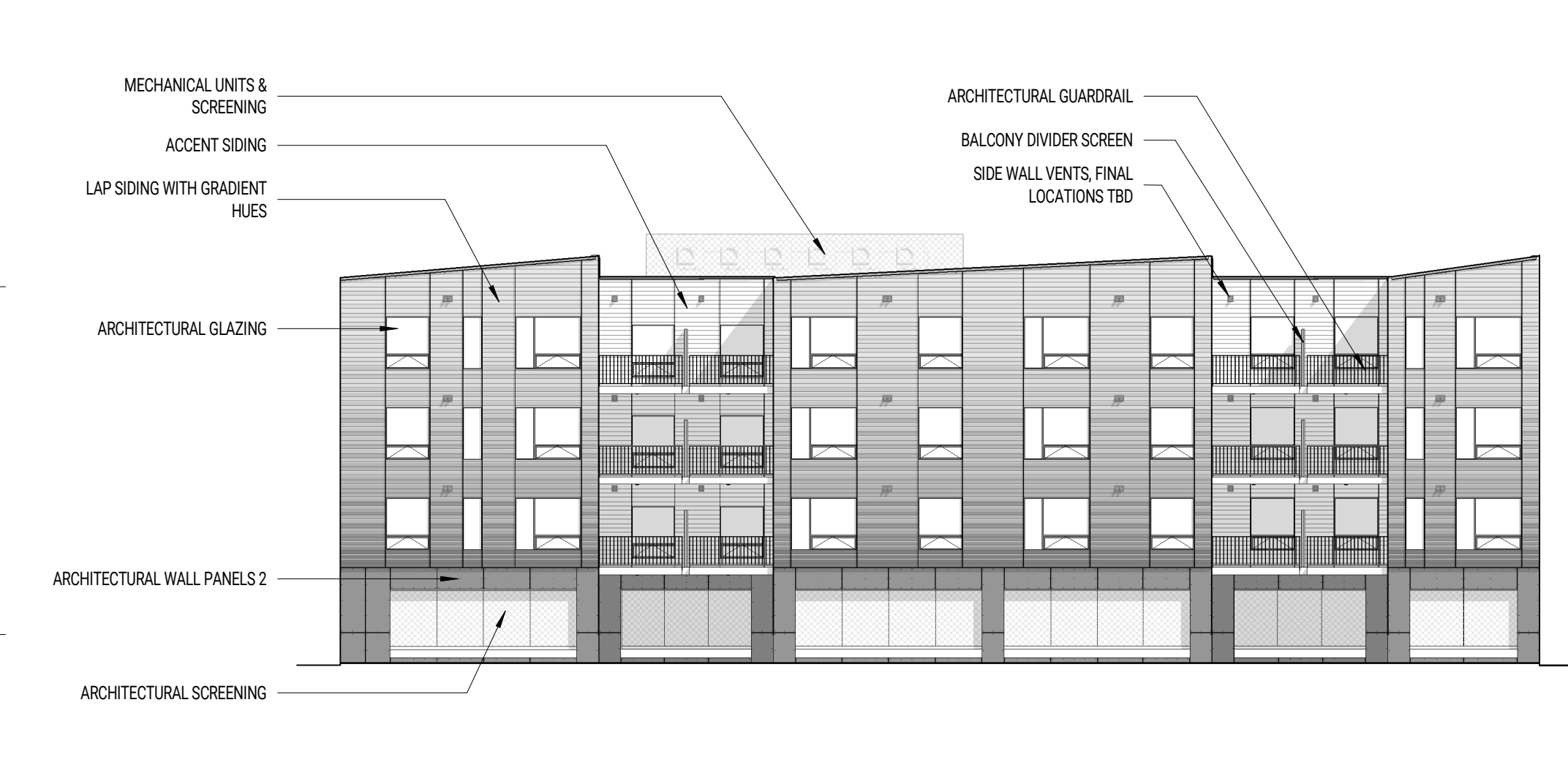
**6 RETAIL CORNER**  
SCALE: 1/16" = 1'-0"



**5 GEORGE WASHINGTON BLVD.**  
SCALE: 1/16" = 1'-0"



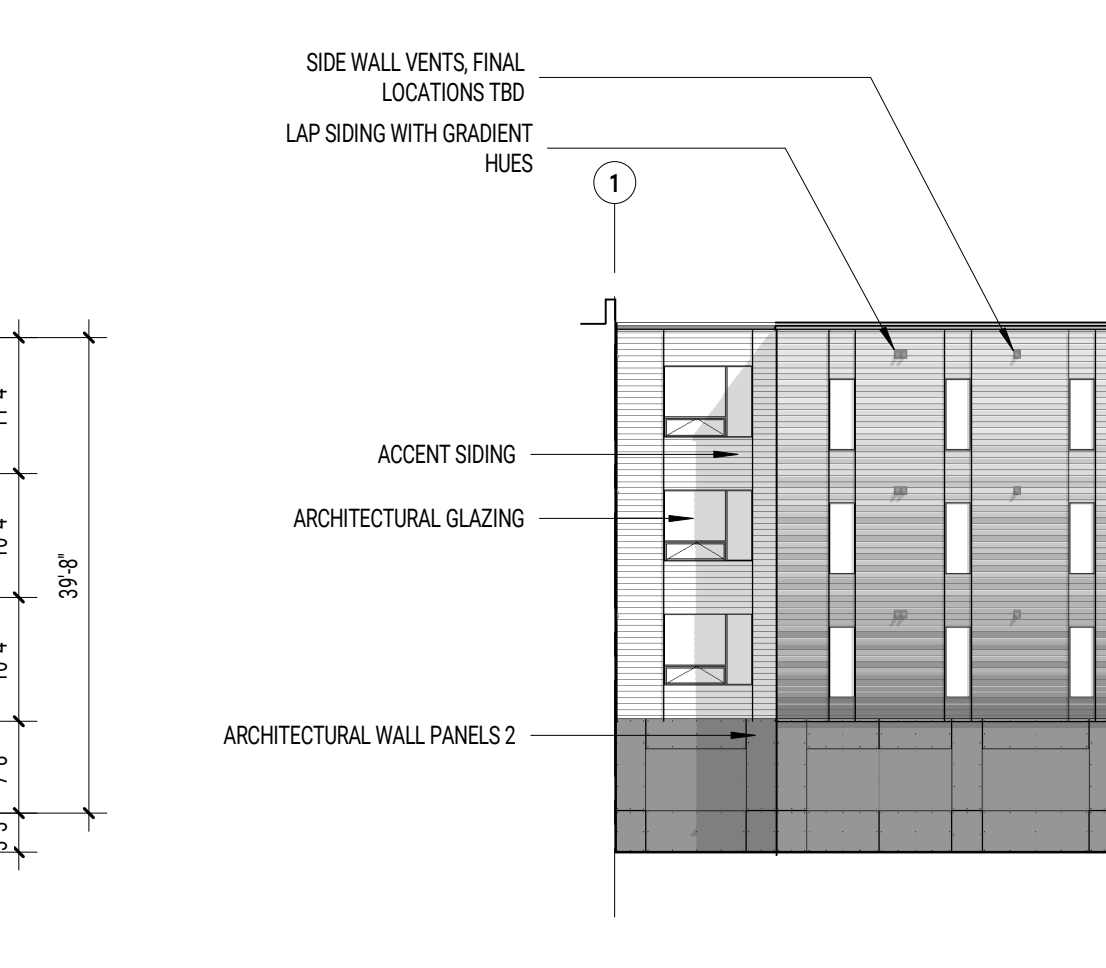
**3 WHARF AVE**  
SCALE: 1/16" = 1'-0"



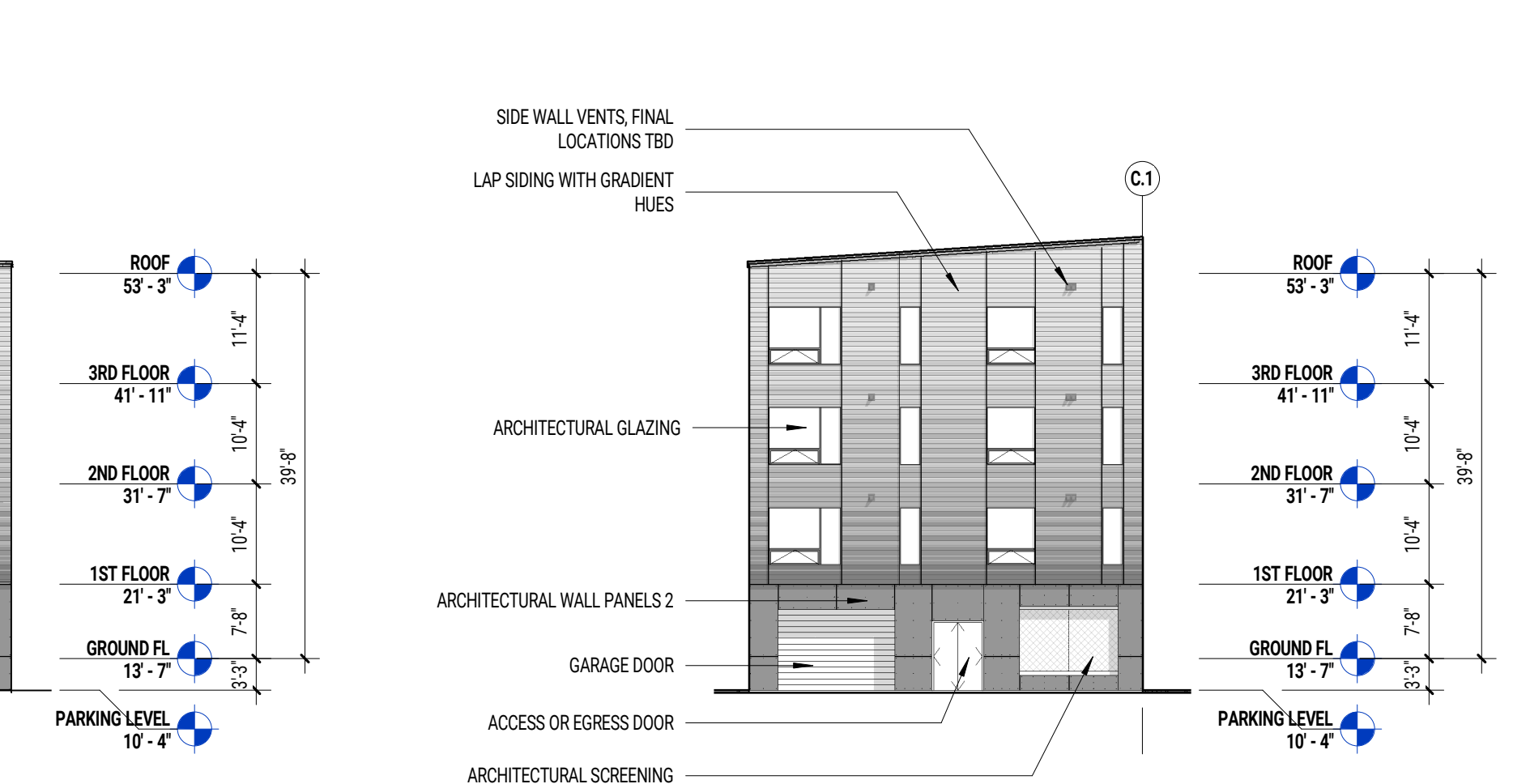
**4 GEORGE WASHINGTON BLVD. CORNER**  
SCALE: 1/16" = 1'-0"



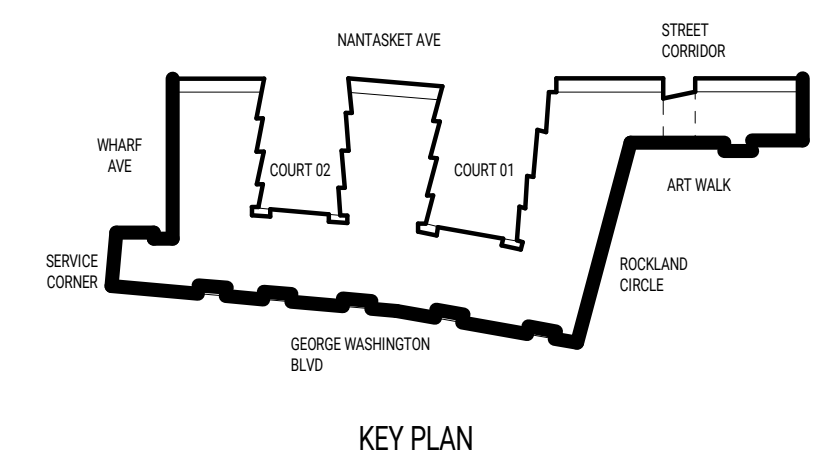
**2 WHARF AVE NOOK**  
SCALE: 1/16" = 1'-0"



**1 GEORGE WASHINGTON BLVD. SERVICE CORNER**  
SCALE: 1/16" = 1'-0"



EXTERIOR LEGEND	
[Symbol]	ACCENT SIDING
[Symbol]	ACCESS OR EGRESS DOOR
[Symbol]	ARCHITECTURAL GLAZING
[Symbol]	ARCHITECTURAL GUARDRAIL
[Symbol]	ARCHITECTURAL SCREENING
[Symbol]	ARCHITECTURAL WALL PANELS 1
[Symbol]	ARCHITECTURAL WALL PANELS 2
[Symbol]	BALCONY DIVIDER SCREEN
[Symbol]	CANOPY
[Symbol]	COMMISSIONED MURAL LOCATION
[Symbol]	ELEVATOR HEADHOUSE
[Symbol]	GARAGE DOOR
[Symbol]	GLAZING SYSTEM
[Symbol]	LAP SIDING WITH GRADIENT HUES
[Symbol]	MECHANICAL UNITS & SCREENING
[Symbol]	SIDE WALL VENTS, FINAL LOCATIONS TBD



CONSULTANTS:

10/10/2023 for Permitting Submission  
(NOT FOR CONSTRUCTION)



MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:  
**PARAGON DUNES MIXED-USE REDEVELOPMENT**  
ADDRESS:  
197 NANTASKET AVE HULL, MA 02045  
DATE ISSUED: 10/10/2023  
PROJECT #: 21013  
SCALE: 1/16" = 1'-0"  
DRAWN BY: AY, TM, MN

BUILDING ELEVATIONS

CONSULTANTS:

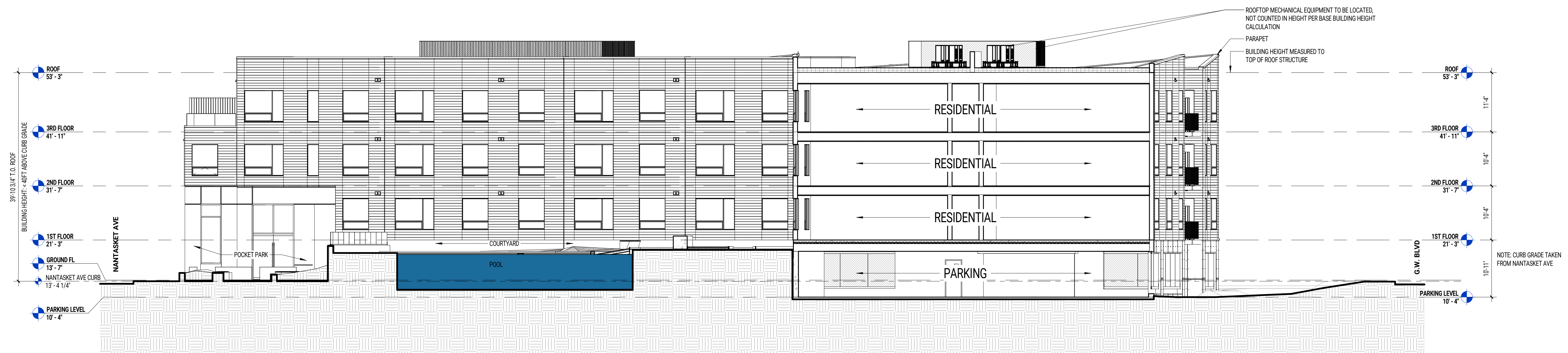
10/10/2023 for Permitting Submission  
(NOT FOR CONSTRUCTION)



MARK: DATE: DESCRIPTION:  
ISSUE LOG:

PROJECT NAME:  
**PARAGON DUNES  
MIXED-USE  
REDEVELOPMENT**  
ADDRESS:  
197 NANTASKET AVE HULL, MA 02045  
DATE ISSUED: 10/10/2023  
PROJECT #: 21013  
SCALE: 1" = 10'-0"  
DRAWN BY: AY, TM, MN

BUILDING SECTIONS I



**2** BUILDING HEIGHT SECTION  
SCALE: 1" = 10'-0"