

VICINITY MAP
SCALE: 1"=1,000'

PARAGON DUNES MIXED-USE REDEVELOPMENT

189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD
HULL, MASSACHUSETTS

PERMITTING PLANS
OCTOBER 2023

SITE PLANS				
SHEET NUMBER	DRAWING NUMBER	SHEET TITLE	DATE ISSUED	DATE REVISED
CIVIL AND LANDSCAPING				
1	C000	COVER SHEET	OCTOBER 10, 2023	JANUARY 31, 2024
2	C001	GENERAL NOTES	OCTOBER 10, 2023	JANUARY 31, 2024
3	C100	DEMOLITION & EROSION CONTROL PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
4	C101	DEMOLITION & EROSION CONTROL PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
5	C102	DEMOLITION & EROSION CONTROL PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
6	C103	DEMOLITION & EROSION CONTROL PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
7	C200	LAYOUT & MATERIALS PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
8	C201	LAYOUT & MATERIALS PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
9	C202	LAYOUT & MATERIALS PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
10	C203	LAYOUT & MATERIALS PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
11	C300	GRADING & DRAINAGE PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
12	C301	GRADING & DRAINAGE PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
13	C302	GRADING & DRAINAGE PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
14	C303	GRADING & DRAINAGE PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
15	C500	UTILITY PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
16	C501	UTILITY PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
17	C502	UTILITY PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
18	C503	UTILITY PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
19	C700	LANDSCAPE PLAN OVERALL	OCTOBER 10, 2023	JANUARY 31, 2024
20	C701	LANDSCAPE PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
21	C702	LANDSCAPE PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
22	C703	LANDSCAPE PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
23	C704	LANDSCAPE ENLARGEMENT PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
24	C705	LANDSCAPE DETAILS	OCTOBER 10, 2023	JANUARY 31, 2024
25	C800	SITE DETAILS	OCTOBER 10, 2023	JANUARY 31, 2024
26	C801	SITE DETAILS	OCTOBER 10, 2023	JANUARY 31, 2024
27	C802	SITE DETAILS	OCTOBER 10, 2023	JANUARY 31, 2024
SURVEY				
1	SV-01	EXISTING CONDITIONS PLAN OVERALL	OCTOBER 10, 2023	JANUARY 24, 2024
2	SV-02	EXISTING CONDITIONS PLAN	OCTOBER 10, 2023	JANUARY 24, 2024
3	SV-03	EXISTING CONDITIONS PLAN	OCTOBER 10, 2023	JANUARY 24, 2024
4	SV-04	EXISTING CONDITIONS PLAN	OCTOBER 10, 2023	JANUARY 24, 2024
5	SV-05	EXISTING CONDITIONS PLAN	OCTOBER 10, 2023	JANUARY 24, 2024
ARCHITECTURE				
1	G-003A	PROGRAM SUMMARY	OCTOBER 10, 2023	JANUARY 31, 2024
2	G-006	OVERALL BUILDING AXONOMETRICS & RENDERINGS	OCTOBER 10, 2023	JANUARY 31, 2024
3	AS002	ARCHITECTURAL SITE PLAN - ENLARGED	OCTOBER 10, 2023	JANUARY 31, 2024
4	A-101a	FLOOR PLAN - PARKING LEVEL	OCTOBER 10, 2023	JANUARY 31, 2024
5	A-102a	FLOOR PLAN - 1ST FLOOR	OCTOBER 10, 2023	JANUARY 31, 2024
6	A-103a	FLOOR PLAN - 2ND FLOOR	OCTOBER 10, 2023	JANUARY 31, 2024
7	A-104a	FLOOR PLAN - 3RD FLOOR	OCTOBER 10, 2023	JANUARY 31, 2024
8	A-105	ROOF PLAN	OCTOBER 10, 2023	JANUARY 31, 2024
9	A-200	OVERALL BUILDING ELEVATIONS	JANUARY 31, 2024	JANUARY 31, 2024
10	A-220	BUILDING ELEVATIONS	OCTOBER 10, 2023	JANUARY 31, 2024
11	A-221	BUILDING ELEVATIONS	OCTOBER 10, 2023	JANUARY 31, 2024
12	A-300	BUILDING SECTIONS I	OCTOBER 10, 2023	JANUARY 31, 2024



SITE MAP
SCALE: 1"=100'

REFERENCE: ORTHOGRAPHIC AERIAL IMAGERY AND MAPS ARE BASED ON GIS DATA OBTAINED FROM MASSGIS PROVIDED BY THE BUREAU OF GEOGRAPHIC INFORMATION (MASSGIS), COMMONWEALTH OF MASSACHUSETTS, EXECUTIVE OFFICE OF TECHNOLOGY AND SECURITY SERVICES.

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SITE DATA

ADDRESS: 189 & 193 NANTASKET AVENUE &
0 GEORGE WASHINGTON BOULEVARD
HULL, MA 02045

PARCEL I.D.: 37-002, 37-003, 37-004

TOTAL AREA: 3.4 ACRES
ZONING DISTRICT: COMMERCIAL RECREATION B
NANTASKET BEACH OVERLAY DISTRICT

SUBMITTAL & REVISION RECORD

NO	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION
2	01/10/2024	RESPONSE TO PERM REVIEW COMMENTS


Civil & Environmental Consultants, Inc.
 31 BelloWS Road - Raynham, MA 02767
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**PARAGON DUNES
MIXED-USE REDEVELOPMENT
189 & 193 NANTASKET AVENUE &
0 GEORGE WASHINGTON BOULEVARD
HULL, MASSACHUSETTS**

COVER SHEET
 DATE: OCTOBER 10, 2023 | DRAWN BY: CJV
 AS SHOWN | CHECKED BY: KPS
 PROJECT NO: 334-762
 APPROVED BY: KPS



DRAWING NO: **C000**
SHEET 1 OF 27

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GENERAL NOTES

- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY CIVIL AND ENVIRONMENTAL CONSULTANTS, INC AND IS DEPICTED ON AN EXISTING CONDITIONS PLAN ENTITLED "EXISTING CONDITIONS PLAN" DATED OCTOBER 10, 2023. CEC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES (INCLUDING THOSE LABELED PER RECORD DATA) PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS. INFORM ENGINEER OF ANY CONFLICTS DETRIMENTAL TO THE DESIGN INTENT.
- THE CONTRACTOR SHALL CALL DIGSAFE AT 1-800-322-4844 AT LEAST 72 HOURS, SATURDAYS, SUNDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER AND ENGINEER PRIOR TO EXCAVATION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND OWNER'S REPRESENTATIVE FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL APPLICABLE PERMITS, AND PAY ALL REQUIRED FEES PRIOR TO BEGINNING WORK.
- ANY WORK PERFORMED IN RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE APPLICABLE LOCAL OR STATE REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY PERMITS FOR THE WORK, SCHEDULE NECESSARY INSPECTIONS, AND PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES AND DEVICES, ETC., FOR WORK PERFORMED IN THE RIGHT OF WAYS.
- THE CONTRACTOR IS TO PERFORM ALL INSPECTIONS AS REQUIRED BY THE UNITED STATES EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND FURNISH OWNERS REPRESENTATIVE WITH WRITTEN REPORTS.
- CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL, PRACTICES IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN, STORM WATER POLLUTION PREVENTION PLAN AND STATE AND LOCAL REGULATIONS.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH SPECIFICATIONS. IF NO SPECIFICATIONS ARE SUPPLIED, USE STATE OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- ITEM NUMBERS REFER TO THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, AND ALL CONSTRUCTION WORK SHALL BE DONE ACCORDING TO SAID SPECIFICATIONS AND IN ACCORDANCE WITH APPLICABLE STANDARDS OF THE TOWN OF HULL. WHEN IN CONFLICT, THE TOWN OF HULL REQUIREMENTS SHALL PREVAIL.
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
- THE CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- BEFORE INSTALLATION OF STORM OR SANITARY SEWER, OR OTHER UTILITY, THE CONTRACTOR SHALL VERIFY ALL CROSSINGS, BY EXCAVATION WHERE NECESSARY, AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
- ADJUST/RECONSTRUCT ALL EXISTING CASTINGS, CLEANOUTS, ETC. WITHIN PROJECT AREA TO GRADE AS REQUIRED.
- CONTRACTOR TO REMOVE & REPLACE PAVEMENT AS SPECIFIED.
- ALL STANDARD PARKING PLACES ARE 9' WIDE BY 20' LONG.
- SITE SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

DEMOLITION NOTES

- ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS AND FOOTINGS. CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE BACKFILLED WITH SATISFACTORY MATERIALS AND COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
- NO TREES SHALL BE REMOVED, NOR VEGETATION DISTURBED BEYOND THE LIMITS OF CONSTRUCTION WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- TREE PROTECTION FENCING SHALL BE IN ACCORDANCE WITH THE DETAILED DRAWINGS. DO NOT OPERATE OR STORE EQUIPMENT, NOR HANDLE OR STORE MATERIALS WITHIN THE DRIP LINES OF THE TREES SHOWN TO REMAIN.
- PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE, EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
- ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED AND SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO THE APPROPRIATE UTILITY COMPANY STANDARDS AND AT THE CONTRACTOR'S EXPENSE.
- ALL UTILITY DISCONNECTION, REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY / AGENCY.
- THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR OBTAINS PRIOR WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- EROSION & SEDIMENT CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE PROPERLY INSTALLED AND FUNCTION PROPERLY PRIOR TO INITIALIZATION OF DEMOLITION ACTIVITIES.
- IF ASBESTOS OR HAZARDOUS MATERIALS ARE FOUND ON SITE, SUCH MATERIALS SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL AND OSHA REGULATIONS DURING ALL DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, STRUCTURES, AND FEATURES TO REMAIN. ANY ITEMS TO REMAIN THAT HAVE BEEN DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC.. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
- PROVIDE NEAT, STRAIGHT, FULL DEPTH, SAW CUTS OF EXISTING PAVEMENT WHERE INDICATED ALONG LIMITS OF PAVEMENT DEMOLITION.
- ALL UTILITY AND STRUCTURE REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED AND PROPERLY DOCUMENTED BY A CERTIFIED PROFESSIONAL, WHEN APPLICABLE, WITH THE APPROPRIATE UTILITY COMPANY, MUNICIPALITY AND/OR AGENCY. DEMOLITION OF REGULATED ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO WELLS, ASBESTOS, UNDER GROUND STORAGE TANKS, SEPTIC TANKS AND ELECTRIC TRANSFORMERS. DEMOLITION CONTRACTOR SHALL REFER TO ANY ENVIRONMENTAL STUDIES FOR DEMOLITION RECOMMENDATIONS AND GUIDANCE. AVAILABLE ENVIRONMENTAL STUDIES MAY INCLUDE, BUT ARE NOT LIMITED TO PHASE I ESA, PHASE II, WETLAND AND STREAM DELINEATION AND ASBESTOS SURVEY. ALL APPLICABLE ENVIRONMENTAL STUDIES SHALL BE MADE AVAILABLE UPON REQUEST.
- ALL PAVEMENT, BASE COURSES, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC., WITHIN THE AREA TO BE DEMOLISHED SHALL BE REMOVED TO FULL DEPTH. EXISTING BASE COURSE MATERIALS MAY BE WORKED INTO THE NEW PAVEMENT OR BUILDING SUBGRADE IF THE GRADATION, CONSISTENCY, COMPACTION, SUBGRADE CONDITION, ETC., ARE IN ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS OF THE REPORT OF GEOTECHNICAL INVESTIGATION. BASE COURSE MATERIALS SHALL NOT BE WORKED INTO THE SUBGRADE AREAS TO RECEIVE LANDSCAPING.
- THE CONTRACTOR SHALL USE SUITABLE METHODS TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION ACTIVITIES.

LAYOUT NOTES

- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. RELOCATE EXISTING UTILITIES AS INDICATED, OR AS NECESSARY FOR CONSTRUCTION.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES, INCLUDING IRRIGATION SLEEVING, PRIOR TO INSTALLATION OF PAVED SURFACES.
- THE CONTRACTOR SHALL PROTECT ALL TREES TO REMAIN IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN, WHICH RESULTS FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
- SITE DIMENSIONS SHOWN ARE TO THE FACE OF CURB, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- COORDINATES ARE FOR BUILDING COLUMNS, EXTERIOR BUILDING WALL, CENTER OF DRIVEWAYS, CENTER OF SANITARY SEWER MANHOLES, AND CENTER OF STRUCTURE PLACED SIX INCHES INSIDE FACE OF CURB FOR DRAIN INLETS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS ON-SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
- REFER TO THE ARCHITECTURAL, PLUMBING & ELECTRICAL DRAWINGS FOR EXACT DIMENSIONS AND LOCATIONS OF UTILITY SERVICE ENTRY LOCATIONS AND PRECISE BUILDING DIMENSIONS.
- THIS SITE LAYOUT IS SPECIFIC TO THE APPROVALS NECESSARY FOR THE CONSTRUCTION IN ACCORDANCE WITH THE TOWN OF HULL. NO CHANGES TO THE SITE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES MADE TO THE SITE LAYOUT WITHOUT APPROVAL IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. CHANGES INCLUDE BUT ARE NOT LIMITED TO, INCREASED IMPERVIOUS PAVEMENT, ADDITION / DELETION OF PARKING SPACES, MOVEMENT OF CURB LINES, CHANGES TO DRAINAGE STRUCTURES AND PATTERNS, LANDSCAPING, ETC.

GRADING NOTES

- ALL PROPOSED GRADES SHOWN ARE FINAL GRADES, TOP OF GROUND LEVEL, OR TOP OF PAVEMENT, OR GRATE ELEVATION AT THE DRAWDOWN POINT, UNLESS INDICATED OTHERWISE.
- REFER TO AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT (AS APPLICABLE).
- ALL FILL UNDER PAVEMENT SHALL BE COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
- CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION & SEDIMENT CONTROL PLAN PREPARED FOR THIS PROJECT.
- EARTHWORK SHALL INCLUDE CLEARING AND GRUBBING, STRIPPING AND STOCKPILING TOPSOIL, MASS GRADING, EXCAVATION, FILLING, UNDER CUT AND REPLACEMENT, IF REQUIRED, AND COMPACTION.
- CONTRACTOR TO REFILL UNDERCUT AREAS WITH SUITABLE MATERIAL AND COMPACT AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- PLACE TOPSOIL OVER THE SUBGRADE OF UNPAVED, DISTURBED AREAS TO A DEPTH INDICATED ON THE LANDSCAPE PLANS (6 INCHES MINIMUM).
- PAVEMENT SLOPES ACROSS ACCESSIBLE PARKING STALLS AND ADJOINING ACCESS AISLES SHALL BE MAXIMUM 2% AND SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
- ALL SLOPES IN NON-PAVED AREAS SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
- ALL AREAS NOT PAVED SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN, UNLESS NOTED OTHERWISE.
- COMPACTED FILLS ARE TO BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO CUTTING OF TRENCHES FOR PLACEMENT OF SAID SEWERS. ALL FILLS SHALL BE CONTROLLED, COMPACTED, AND INSPECTED BY AN APPROVED TESTING LABORATORY.
- ALL EXCESS SOIL MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR BALANCING THE SITE EARTHWORK BY IMPORTING OR EXPORTING AS NECESSARY TO ACHIEVE DESIGN GRADES AND SPECIFICATIONS.

STORM DRAINAGE NOTES

- DISTANCES SHOWN ON PIPING ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, INSPECTION, TESTING AND FINAL ACCEPTANCE OF ALL NEW STORMWATER MANAGEMENT FACILITIES CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE REGULATING AGENCIES CONCERNING INSTALLATION, INSPECTION AND APPROVAL OF THE STORM DRAINAGE SYSTEM CONSTRUCTION.
- ALL STORMWATER MANAGEMENT FACILITIES, INCLUDING COLLECTION AND CONVEYANCE STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- FOR EXACT LOCATION OF DOWN SPOUTS & ROOF DRAINS, CONTRACTOR IS TO COORDINATE WITH ARCHITECTURAL AND PLUMBING DRAWINGS.
- ALL PROPOSED STORM SEWERS, SURFACE OR OTHER DRAINAGE FACILITIES WITHIN THE PROPERTY ARE TO BE PRIVATE AND MAINTAINED BY THE OWNER.
- THE CONTRACTOR IS TO CONSTRUCT CURBS, CATCH BASINS, DOWNSPOUTS, PIPING AND CONNECTION ETC. AS REQUIRED TO CONVEY THE ROOF AND PAVED SURFACE DRAINAGE TO THE SUBSURFACE STORMWATER CHAMBERS, BIRETENTION AND DETENTION BASINS.
- ALL CATCH BASINS AND MANHOLES WITH A DEPTH GREATER THAN 4' SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
- STORM SEWER PIPE LABELED "STM" OR "HDPE" SHALL BE HIGH DENSITY POLYETHYLENE (HDPE). STORM SEWER PIPE LABELED "RCP" SHALL BE REINFORCED CONCRETE PIPE. ALL STORM IS TO BE INSTALLED PER MASSDOT SPECIFICATIONS.
- STORM SEWER IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL--AGGREGATES NOT TO BE LARGER THAN 3/4" AND NOT SMALLER THAN NO. 8 SIEVE, FREE OF SILT AND FINES, AASHTO M43 SIZE #67, 7 OR 8. BEDDING TO BE MINIMUM OF 6" BELOW & 12" ABOVE THE PIPE.

UTILITY NOTES

- ALL PROPOSED UTILITY LINES AND EXTENSIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PRIVATE UTILITY COMPANY SPECIFICATIONS. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS WITH THE APPROPRIATE AGENCY.
- PROVIDE FIRE DEPARTMENT CONNECTION WITH 30 DEGREE TURN DOWN PER LOCAL FIRE DEPARTMENT REQUIREMENTS. UNDERGROUND PIPING SERVING REMOTE FIRE DEPARTMENT CONNECTION SHALL BE DUCTILE IRON PIPING WITH RUBBER-GASKET PUSH-ON JOINTS. ABOVE GROUND PIPING AT LOCATION OF FIRE DEPARTMENT CONNECTION SHALL BE GALVANIZED, PROVIDE FLANGE ABOVE GRADE AT TRANSITION. PROVIDE CONCRETE THRUST BLOCKING AT ALL CHANGES OF DIRECTION AND MOUNT FIRE DEPARTMENT CONNECTION PIPING IN A 12 INCHES X 12 INCHES CONCRETE PAD 4 INCHES THICK. PROVIDE BALL DRIP VALVE AT BASE OF VERTICAL PIPING SERVING FIRE DEPARTMENT CONNECTION AND SURROUND WITH PEA GRAVEL.
- THE CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON TOPOGRAPHIC SURVEYS AND RECORD DRAWINGS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. SHOULD UNCHARTED UTILITIES BE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE FOR INSTRUCTIONS. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- MAINTAIN MINIMUM 10-FOOT HORIZONTAL AND 18-INCH MINIMUM VERTICAL SEPARATION BETWEEN SANITARY SEWER, STORM SEWER AND WATER SUPPLY LINE, UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES, GAS LINES, AND UNDERGROUND ELECTRIC DO NOT CONFLICT WITH SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITIES PRIOR TO PAVEMENT CONSTRUCTION.
- ALL TRENCH SPOILS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- SANITARY SEWER SHALL BE PVC-SDR 35 PER ASTM D-3034 OR APPROVED EQUAL (CONFORMING TO TOWN OF HULL WATER & SEWER DEPARTMENT RULES AND REGULATIONS) INSTALLED AT A MINIMUM SLOPE OF ONE PERCENT (1.00%) UNLESS OTHERWISE NOTED. SANITARY SERVICE SHALL BE INSTALLED AT A MINIMUM DEPTH OF FOUR FEET (4') UNLESS OTHERWISE NOTED. A MINIMUM OF 18" CLEARANCE SHALL BE MAINTAINED AT ALL WATERLINE & STORM SEWER CROSSINGS. SANITARY SERVICE JOINTS ALL CONFORM TO ASTM D-3212.
- SANITARY SEWER IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL--AGGREGATES NOT TO BE LARGER THAN 3/4" AND NOT SMALLER THAN NO. 8 SIEVE, FREE OF SILT AND FINES, AASHTO M43 SIZE #67, 7 OR 8. BEDDING TO BE MINIMUM OF 6" BELOW & 12" ABOVE THE PIPE.
- DISTANCES SHOWN FOR BOTH SANITARY AND STORM SEWER PIPES ARE MEASURED FROM CENTER OF STRUCTURE, CONTRACTOR RESPONSIBLE FOR ACTUAL FIELD CUT LENGTH. COORDINATES FOR STORM & SANITARY STRUCTURES ARE SHOWN TO THE CENTER STRUCTURE, UNLESS OTHERWISE NOTED.
- ROOF DRAINS, FOUNDATION DRAINS AND ALL OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEMS ARE PROHIBITED.
- ADJUST ALL EXISTING UTILITY SURFACE FEATURES INCLUDING BUT NOT LIMITED TO CASTINGS, VALVE BOXES, PEDESTALS, CLEANOUTS, ETC. TO MATCH PROPOSED FINISHED GRADES, UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL IMPROVEMENTS. INCLUDE AT LEAST TWO DIMENSIONS TO EACH VALVE AND MANHOLE FROM KNOWN SITE FEATURES. DRAWINGS SHALL INCLUDE HORIZONTAL AND VERTICAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES ENCOUNTERED.
- ALL WATERLINE CROSSINGS SHALL MAINTAIN A VERTICAL SEPARATION OF 18" MINIMUM. SANITARY SEWER SHALL BE LOCATED 18" BELOW WATERMAIN AT ALL CROSSINGS. WATERMAIN SHALL BE LOCATED A MINIMUM OF 10' HORIZONTALLY FROM ANY SANITARY SEWER OR STORM SEWER. ALL MEASUREMENTS SHALL BE TAKEN FROM OUTSIDE OF SEWER PIPE TO THE OUTSIDE OF WATERMAIN PIPE. ONE FULL LENGTH OF WATERMAIN PIPE SHALL BE LOCATED AT ALL CROSSINGS TO ENABLE BOTH JOINTS TO BE LOCATED AS FAR FROM SEWER AS POSSIBLE.
- ALL WATER SERVICE PIPE SIZES 3" THRU 12" SHALL BE DUCTILE IRON PIPE CLASS 52 PIPE PER LOCAL JURISDICTION, FROM WATERMAIN THRU METER SETTING(S) INCLUDING THE METER BYPASS.
- ALL WATER SERVICE PIPE, 2 INCHES AND SMALLER, SHALL BE K SOFT COPPER FROM WATERMAIN THRU CURB STOP; K SOFT COPPER OR APPROVED EQUAL.
- WATERLINE IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL--AGGREGATES NOT TO BE LARGER THAN 3/4" AND NOT SMALLER THAN NO. 8 SIEVE, FREE OF SILT AND FINES, AASHTO M43 SIZE #67, 7 OR 8. BEDDING TO BE MINIMUM OF 6" BELOW & 12" ABOVE THE PIPE

TABLE OF ABBREVIATIONS

GENERAL		UTILITIES	
ACR	ACCESSIBLE CURB RAMP	ABAN	ABANDON
ADA	AMERICANS WITH DISABILITIES ACT	ADJ	ADJUST
APPROX	APPROXIMATE	CATV	CABLE TV
ARCH	ARCHITECTURAL	CIP	CAST IRON PIPE
BC	BOTTOM OF CURB	CMP	CORRUGATED METAL PIPE
BCB	BITUMINOUS CONCRETE BERM	CO	CLEANOUT
BCC	BITUMINOUS CONCRETE CURB	COND	CONDUIT
BIT	BITUMINOUS	CS	CURB STOP AND BOX
BLDG	BUILDING	DIA	DIAMETER
BLSF	BORDERING LAND SUBJECT TO FLOODING	DCB	DOUBLE CATCH BASIN
BOT	BOTTOM	DET	DETENTION
BS	BOTTOM OF SLOPE	DIP	DUCTILE IRON PIPE
BW	BOTTOM OF WALL	DMH	DRAIN MANHOLE
BWLL	BROKEN WHITE LANE LINE	DW	DOMESTIC WATER
CCB	CAPE COD BERM	EMH	ELECTRIC MANHOLE
CLF	CHAIN LINK FENCE	FA	FIRE ALARM
CONC	CONCRETE	FES	FLARED END SECTION
DPW	DEPARTMENT OF PUBLIC WORKS	FP	FIRE PROTECTION
DYCL	DOUBLE YELLOW CENTER LINE	FM	FORCE MAIN
ECC	EXTRUDED CONCRETE CURB	FO	FIBER OPTICS
ELEV	ELEVATION	F&C	FRAME AND COVER
EOP	EDGE OF PAVEMENT	F&G	FRAME AND GRATE
EX	EXISTING	GG	GAS GATE
EXIST	EXISTING	GI	GUTTER INLET
FON	FOUNDATION	GM	GAS METER
FFE	FIRST FLOOR ELEVATION	GT	GRASS TRAP
GRAN	GRANITE	HDPE	HIGH DENSITY POLYETHYLENE PIPE
GTD	GRADE TO DRAIN	HH	HAND HOLE
HP	HIGH POINT	HW	HEADWALL
LA	LANDSCAPE AREA	HYD	HYDRANT
LOD	LIMIT OF DISTURBANCE	INF	INFILTRATION
LOW	LIMIT OF WORK	INV	INVERT ELEVATION
LP	LOW POINT	I=	INVERT ELEVATION
MAX	MAXIMUM	MES	METAL END SECTION
MCC	MONOLITHIC CONCRETE CURB	MW	MONITORING WELL
ME	MATCH EXISTING	OHW	OVERHEAD WIRE
MIN	MINIMUM	PB	PULL BOX
NDZ	NO DISTURB ZONE	PV	POST INDICATOR VALVE
NIC	NOT IN CONTRACT	PVC	POLYVINYLCHLORIDE PIPE
NTS	NOT TO SCALE	RCP	REINFORCED CONCRETE PIPE
PCC	PRECAST CONCRETE CURB	RD	ROOF DRAIN
PL	PROPERTY LINE	R=	RIM ELEVATION
PROP	PROPOSED	SAS	SOIL ABSORPTION SYSTEM
R	RADIUS	SCB	SINGLE CATCH BASIN
RA	RIVERFRONT AREA	SLP	SITE LIGHT POLE
REM	REMOVE	SMH	SEWER MANHOLE
RET	RETAIN	SYS	SYSTEM
ROW	RIGHT-OF-WAY	TMH	TELEPHONE MANHOLE
R&D	REMOVE AND DISPOSE	TSV	TAPPING SLEEVE, VALVE, AND BOX
R&R	REMOVE AND RESET	UD	UNDERDRAIN
R&S	REMOVE AND SALVAGE	UG	UNDERGROUND
SGE	SLOPED GRANITE EDGING	UP	UTILITY POLE
SWEL	SOLID WHITE EDGE LINE	WM	WATER METER
SWLL	SOLID WHITE LANE LINE	WQI	WATER QUALITY INLET
TC	TOP OF CURB	WQU	WATER QUALITY UNIT
TR	TRASH BAY	WV	WATER VALVE AND BOX
TS	TOP OF SLOPE		
TW	TOP OF WALL		
Typ	TYPICAL		
VGC	VERTICAL GRANITE CURB		

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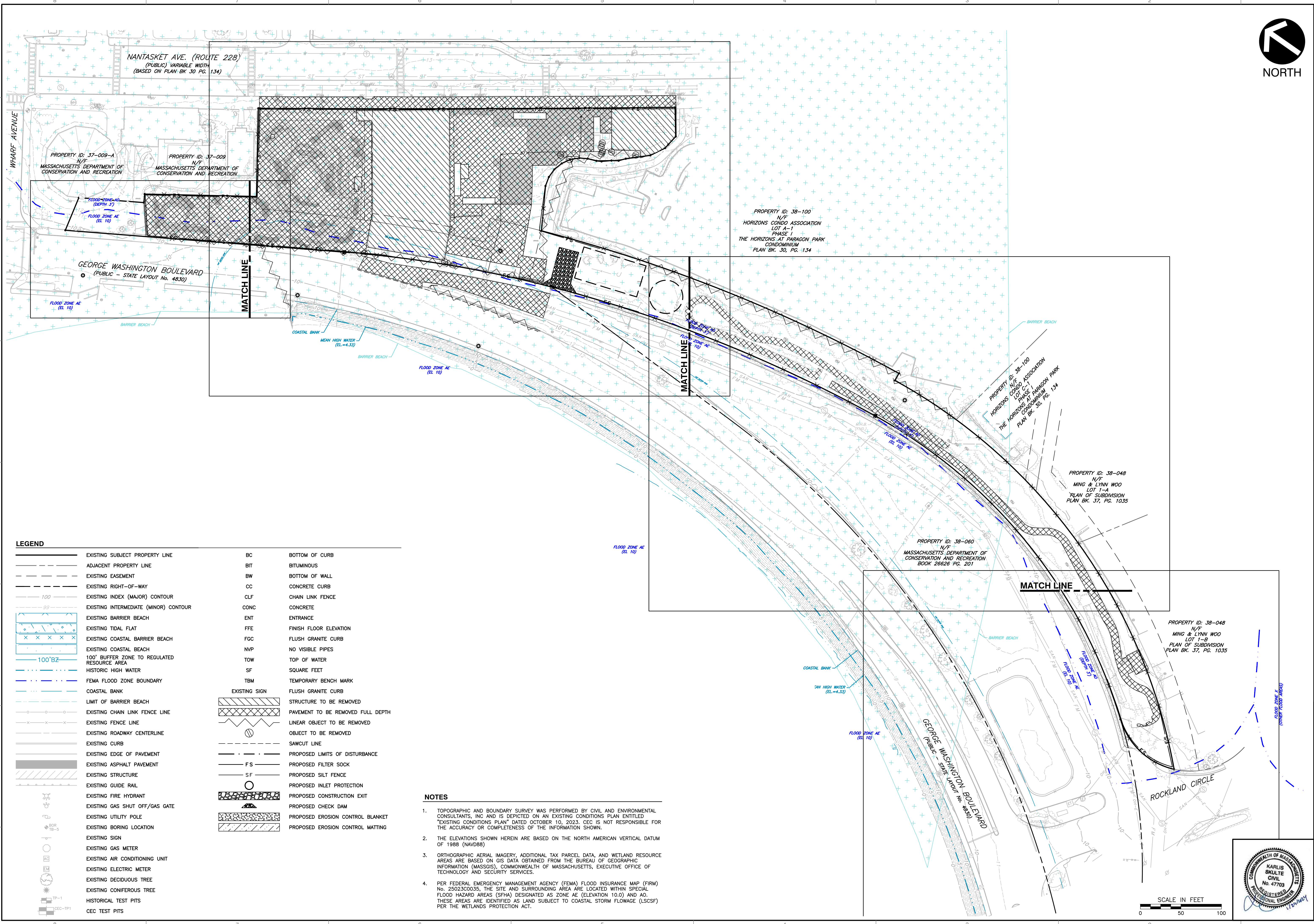
**PARAGON DUNES
MIXED-USE REDEVELOPMENT
189 & 193 NANTASKET AVENUE &
0 GEORGE WASHINGTON BOULEVARD
HULL, MASSACHUSETTS**

GENERAL NOTES

DATE: OCTOBER 10, 2023 DRAWN BY: CJV
DWG SCALE: KPS
PROJECT NO: 334-762
APPROVED BY: KPS



DRAWING NO: **C001**
SHEET 2 OF 27



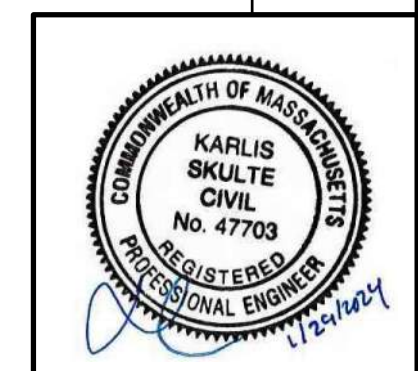
LEGEND

	EXISTING SUBJECT PROPERTY LINE	BC	BOTTOM OF CURB
	ADJACENT PROPERTY LINE	BIT	BITUMINOUS
	EXISTING EASEMENT	BW	BOTTOM OF WALL
	EXISTING RIGHT-OF-WAY	CC	CONCRETE CURB
	EXISTING INDEX (MAJOR) CONTOUR	CLF	CHAIN LINK FENCE
	EXISTING INTERMEDIATE (MINOR) CONTOUR	CONC	CONCRETE
	EXISTING BARRIER BEACH	ENT	ENTRANCE
	EXISTING TIDAL FLAT	FFE	FINISH FLOOR ELEVATION
	EXISTING COASTAL BARRIER BEACH	FGC	FLUSH GRANITE CURB
	EXISTING COASTAL BEACH	NVP	NO VISIBLE PIPES
	100' BUFFER ZONE TO REGULATED RESOURCE AREA	TOW	TOP OF WATER
	HISTORIC HIGH WATER	SF	SQUARE FEET
	FEMA FLOOD ZONE BOUNDARY	TBM	TEMPORARY BENCH MARK
	COASTAL BANK		FLUSH GRANITE CURB
	LIMIT OF BARRIER BEACH		STRUCTURE TO BE REMOVED
	EXISTING CHAIN LINK FENCE LINE		PAVEMENT TO BE REMOVED FULL DEPTH
	EXISTING FENCE LINE		LINEAR OBJECT TO BE REMOVED
	EXISTING ROADWAY CENTERLINE		OBJECT TO BE REMOVED
	EXISTING CURB		SAWCUT LINE
	EXISTING EDGE OF PAVEMENT		PROPOSED LIMITS OF DISTURBANCE
	EXISTING ASPHALT PAVEMENT	F-S	PROPOSED FILTER SOCK
	EXISTING STRUCTURE	S-F	PROPOSED SILT FENCE
	EXISTING GUIDE RAIL		PROPOSED INLET PROTECTION
	EXISTING FIRE HYDRANT		PROPOSED CONSTRUCTION EXIT
	EXISTING GAS SHUT OFF/GAS GATE		PROPOSED CHECK DAM
	EXISTING UTILITY POLE		PROPOSED EROSION CONTROL BLANKET
	EXISTING BORING LOCATION		PROPOSED EROSION CONTROL MATTING
	EXISTING SIGN		
	EXISTING GAS METER		
	EXISTING AIR CONDITIONING UNIT		
	EXISTING ELECTRIC METER		
	EXISTING DECIDUOUS TREE		
	EXISTING CONIFEROUS TREE		
	HISTORICAL TEST PITS		
	CEC TEST PITS		

NOTES

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SCALE IN FEET
0 50 100



DEMOLITION & EROSION CONTROL PLAN
DRAWING NO. **C100**
SHEET 3 OF 27

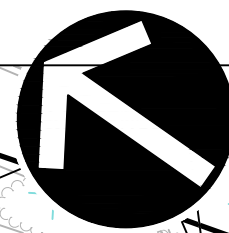
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SUBMITTAL & REVISION RECORD

NO	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION
2	01/15/2024	RESPONSE TO PER REVIEW COMMENTS

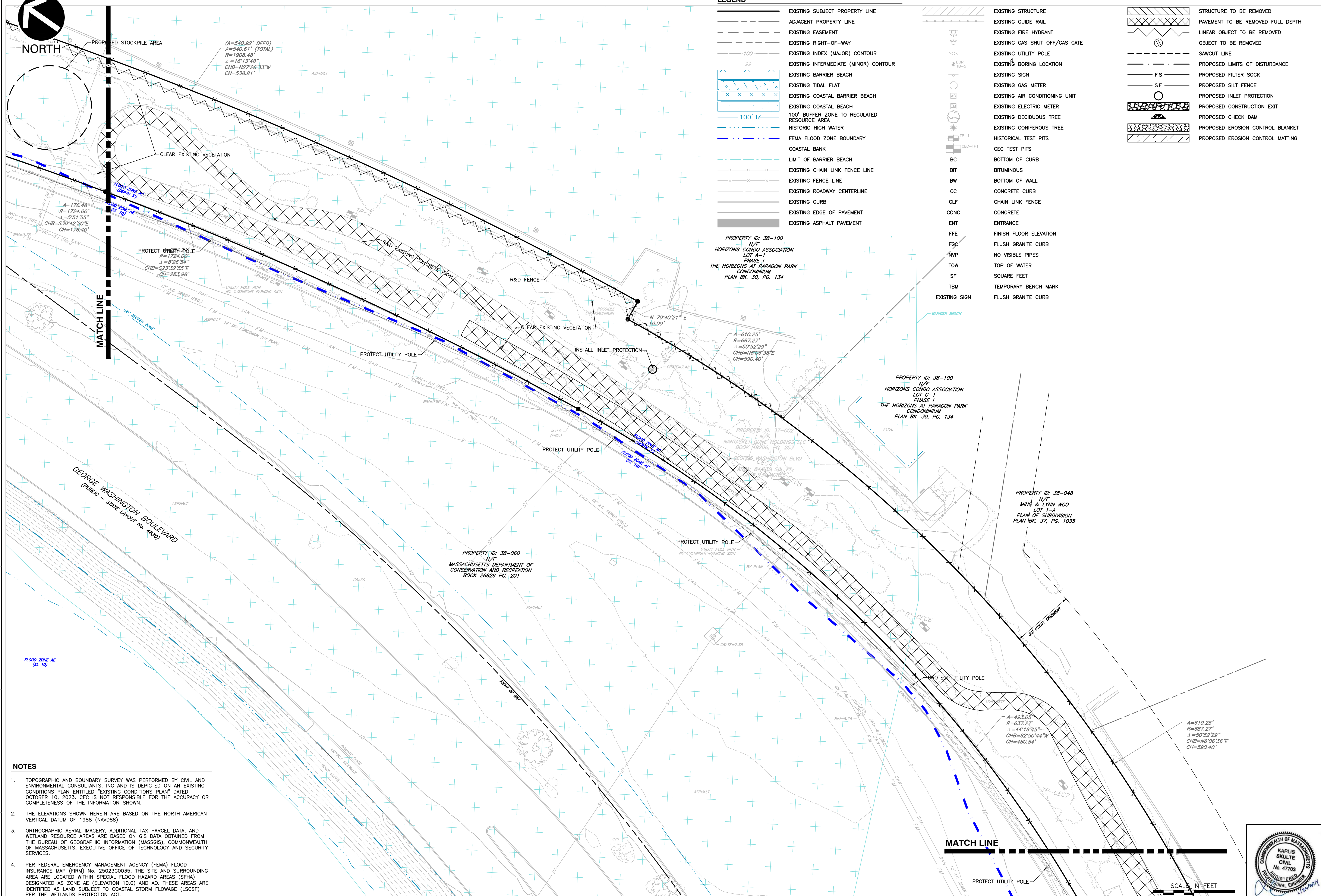
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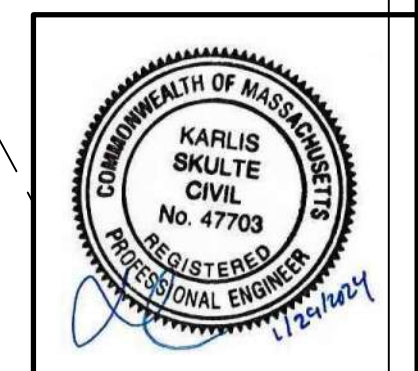
NORTH

LEGEND

	EXISTING SUBJECT PROPERTY LINE		EXISTING STRUCTURE		STRUCTURE TO BE REMOVED
	ADJACENT PROPERTY LINE		EXISTING GUIDE RAIL		PAVEMENT TO BE REMOVED FULL DEPTH
	EXISTING EASEMENT		EXISTING FIRE HYDRANT		LINEAR OBJECT TO BE REMOVED
	EXISTING RIGHT-OF-WAY		EXISTING GAS SHUT OFF/GAS GATE		OBJECT TO BE REMOVED
	EXISTING INDEX (MAJOR) CONTOUR		EXISTING UTILITY POLE		SAWCUT LINE
	EXISTING INTERMEDIATE (MINOR) CONTOUR		EXISTING BORING LOCATION		PROPOSED LIMITS OF DISTURBANCE
	EXISTING BARRIER BEACH		EXISTING SIGN		PROPOSED FILTER SOCK
	EXISTING TIDAL FLAT		EXISTING GAS METER		PROPOSED SILT FENCE
	EXISTING COASTAL BARRIER BEACH		EXISTING AIR CONDITIONING UNIT		PROPOSED INLET PROTECTION
	EXISTING COASTAL BEACH		EXISTING ELECTRIC METER		PROPOSED CONSTRUCTION EXIT
	RESOURCE AREA		EXISTING DECIDUOUS TREE		PROPOSED CHECK DAM
	HISTORIC HIGH WATER		EXISTING CONIFEROUS TREE		PROPOSED EROSION CONTROL BLANKET
	FEMA FLOOD ZONE BOUNDARY		HISTORICAL TEST PITS		PROPOSED EROSION CONTROL MATTING
	COASTAL BANK		CEC TEST PITS		
	LIMIT OF BARRIER BEACH		BC		
	EXISTING CHAIN LINK FENCE LINE		BIT		
	EXISTING FENCE LINE		BW		
	EXISTING ROADWAY CENTERLINE		CC		
	EXISTING CURB		CLF		
	EXISTING EDGE OF PAVEMENT		CONC		
			ENT		
			FFE		
			FGC		
			NVP		
			TOW		
			SF		
			TBM		
			EXISTING SIGN		
			FLUSH GRANITE CURB		



- NOTES**
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DATE: OCTOBER 10, 2025 | DRAWN BY: CJV
 DWG SCALE: 1"=20' | CHECKED BY: KPS
 PROJECT NO: 334-762
 APPROVED BY: KPS

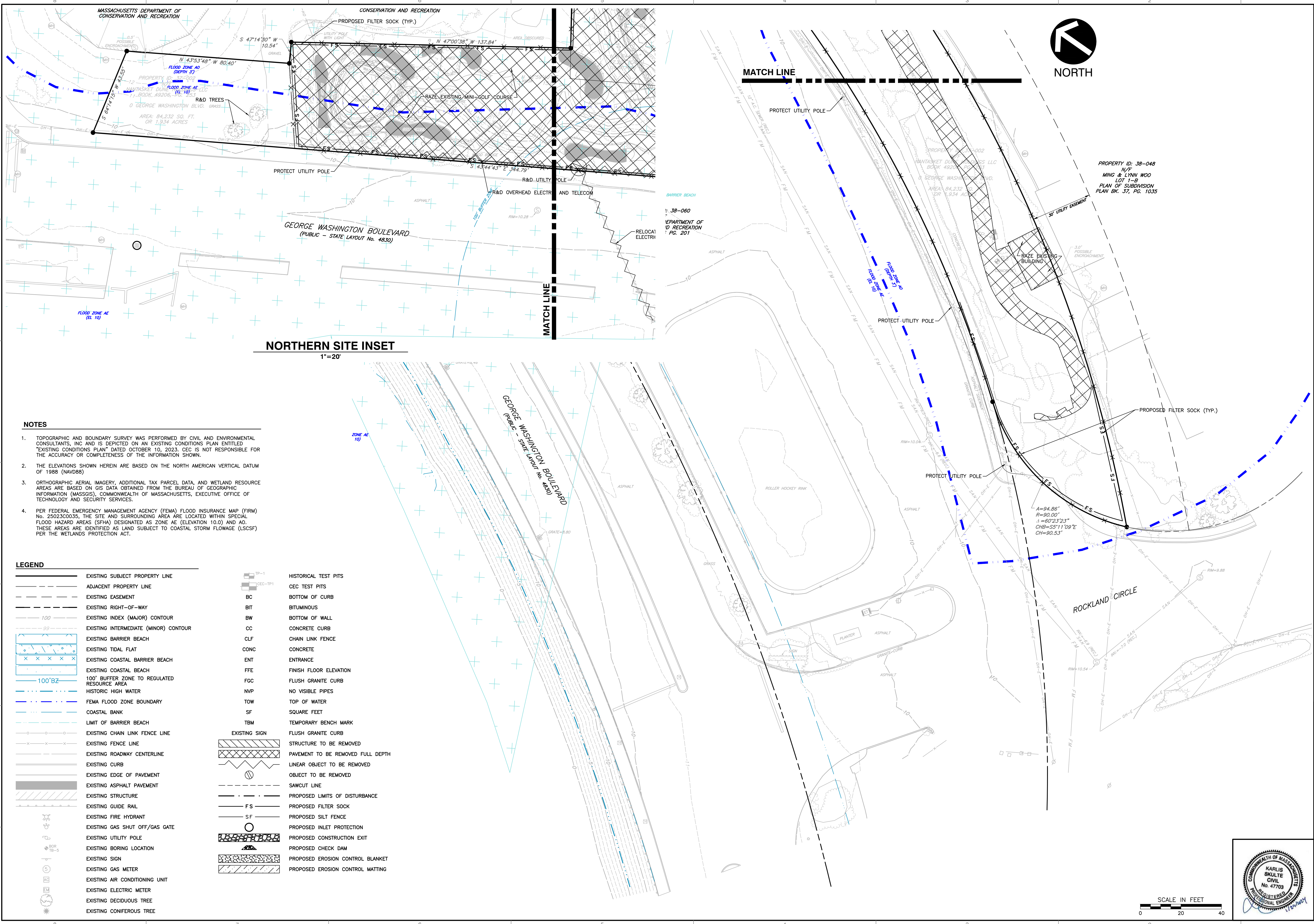
DEMOLITION & EROSION CONTROL PLAN
PARAGON DUNES MIXED-USE REDEVELOPMENT
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SUBMITTAL & REVISION RECORD

NO	DATE	DESCRIPTION
1	10/10/2025	PERMITTING SUBMISSION
2	01/10/2026	RESPONSE TO PERM REVIEW COMMENTS

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NORTHERN SITE INSET
1"=20'

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LEGEND	
	EXISTING SUBJECT PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT
	EXISTING RIGHT-OF-WAY
	EXISTING INDEX (MAJOR) CONTOUR
	EXISTING INTERMEDIATE (MINOR) CONTOUR
	EXISTING BARRIER BEACH
	EXISTING TIDAL FLAT
	EXISTING COASTAL BARRIER BEACH
	EXISTING COASTAL BEACH
	100' BUFFER ZONE TO REGULATED RESOURCE AREA
	HISTORIC HIGH WATER
	FEMA FLOOD ZONE BOUNDARY
	COASTAL BANK
	LIMIT OF BARRIER BEACH
	EXISTING CHAIN LINK FENCE LINE
	EXISTING FENCE LINE
	EXISTING ROADWAY CENTERLINE
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING ASPHALT PAVEMENT
	EXISTING STRUCTURE
	EXISTING GUIDE RAIL
	EXISTING FIRE HYDRANT
	EXISTING GAS SHUT OFF/GAS GATE
	EXISTING UTILITY POLE
	EXISTING BORING LOCATION
	EXISTING SIGN
	EXISTING GAS METER
	EXISTING AIR CONDITIONING UNIT
	EXISTING ELECTRIC METER
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	HISTORICAL TEST PITS
	CEC TEST PITS
	BOTTOM OF CURB
	BITUMINOUS
	BOTTOM OF WALL
	CONCRETE CURB
	CHAIN LINK FENCE
	CONCRETE
	ENTRANCE
	FINISH FLOOR ELEVATION
	FLUSH GRANITE CURB
	NO VISIBLE PIPES
	TOP OF WATER
	SQUARE FEET
	TEMPORARY BENCH MARK
	EXISTING SIGN
	STRUCTURE TO BE REMOVED
	PAVEMENT TO BE REMOVED FULL DEPTH
	LINEAR OBJECT TO BE REMOVED
	OBJECT TO BE REMOVED
	SAWCUT LINE
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED FILTER SOCK
	PROPOSED SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED CONSTRUCTION EXIT
	PROPOSED CHECK DAM
	PROPOSED EROSION CONTROL BLANKET
	PROPOSED EROSION CONTROL MATTING

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1.	10/10/2023	PERMITTING SUBMISSION
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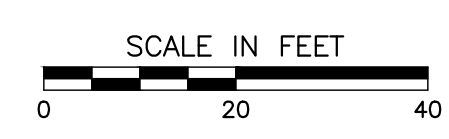
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DEMOLITION & EROSION CONTROL PLAN

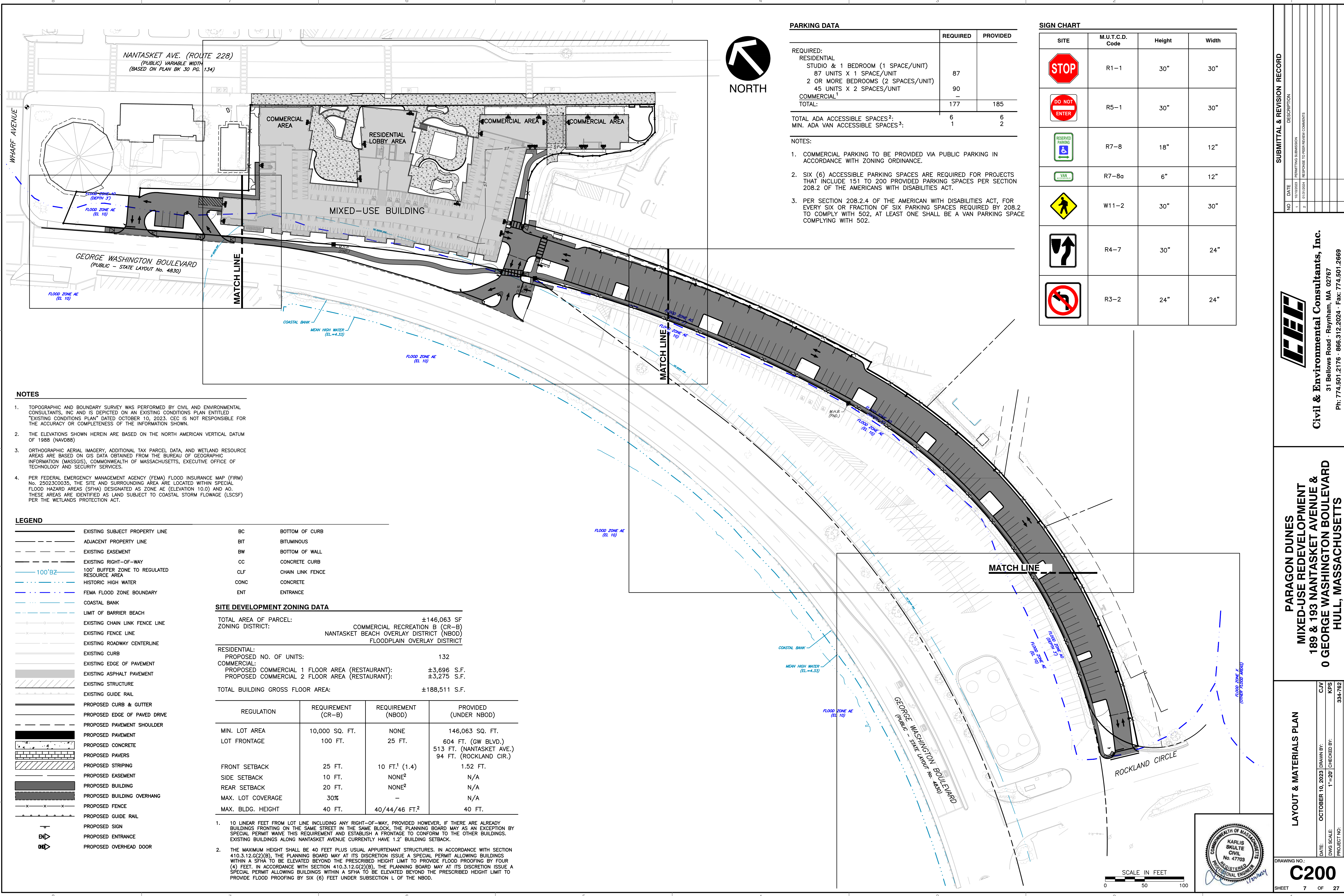
DRAWING NO. **C103**

SHEET 6 OF 27

DATE:	OCTOBER 10, 2023	DRAWN BY:	CJV
DWG SCALE:	1"=20'	CHECKED BY:	KPS
PROJECT NO.:	334-762	APPROVED BY:	KPS



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PARKING DATA

	REQUIRED	PROVIDED
REQUIRED: RESIDENTIAL STUDIO & 1 BEDROOM (1 SPACE/UNIT) 87 UNITS X 1 SPACE/UNIT 2 OR MORE BEDROOMS (2 SPACES/UNIT) 45 UNITS X 2 SPACES/UNIT COMMERCIAL ¹ TOTAL:	 177	 185
TOTAL ADA ACCESSIBLE SPACES ² : MIN. ADA VAN ACCESSIBLE SPACES ³ :	6 1	6 2

- NOTES:**
1. COMMERCIAL PARKING TO BE PROVIDED VIA PUBLIC PARKING IN ACCORDANCE WITH ZONING ORDINANCE.
 2. SIX (6) ACCESSIBLE PARKING SPACES ARE REQUIRED FOR PROJECTS THAT INCLUDE 151 TO 200 PROVIDED PARKING SPACES PER SECTION 208.2 OF THE AMERICANS WITH DISABILITIES ACT.
 3. PER SECTION 208.2.4 OF THE AMERICAN WITH DISABILITIES ACT, FOR EVERY SIX OR FRACTION OF SIX PARKING SPACES REQUIRED BY 208.2 TO COMPLY WITH 502, AT LEAST ONE SHALL BE A VAN PARKING SPACE COMPLYING WITH 502.

SIGN CHART

SITE	M.U.T.C.D. Code	Height	Width
	R1-1	30"	30"
	R5-1	30"	30"
	R7-8	18"	12"
	R7-8a	6"	12"
	W11-2	30"	30"
	R4-7	30"	24"
	R3-2	24"	24"

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LEGEND

	EXISTING SUBJECT PROPERTY LINE	BC	BOTTOM OF CURB
	ADJACENT PROPERTY LINE	BIT	BITUMINOUS
	EXISTING EASEMENT	BW	BOTTOM OF WALL
	EXISTING RIGHT-OF-WAY	CC	CONCRETE CURB
	100' BZ	CLF	CHAIN LINK FENCE
	100' BUFFER ZONE TO REGULATED RESOURCE AREA	CONC	CONCRETE
	HISTORIC HIGH WATER	ENT	ENTRANCE
	FEMA FLOOD ZONE BOUNDARY		
	COASTAL BANK		
	LIMIT OF BARRIER BEACH		
	EXISTING CHAIN LINK FENCE LINE		
	EXISTING FENCE LINE		
	EXISTING ROADWAY CENTERLINE		
	EXISTING CURB		
	EXISTING EDGE OF PAVEMENT		
	EXISTING ASPHALT PAVEMENT		
	EXISTING STRUCTURE		
	EXISTING GUIDE RAIL		
	PROPOSED CURB & GUTTER		
	PROPOSED EDGE OF PAVED DRIVE		
	PROPOSED PAVEMENT SHOULDER		
	PROPOSED PAVEMENT		
	PROPOSED CONCRETE		
	PROPOSED PAVERS		
	PROPOSED STRIPING		
	PROPOSED EASEMENT		
	PROPOSED BUILDING		
	PROPOSED BUILDING OVERHANG		
	PROPOSED FENCE		
	PROPOSED GUIDE RAIL		
	PROPOSED SIGN		
	PROPOSED ENTRANCE		
	PROPOSED OVERHEAD DOOR		

SITE DEVELOPMENT ZONING DATA

TOTAL AREA OF PARCEL:	±146,063 SF
ZONING DISTRICT:	COMMERCIAL RECREATION B (CR-B) NANTASKET BEACH OVERLAY DISTRICT (NBOD) FLOODPLAIN OVERLAY DISTRICT
RESIDENTIAL: PROPOSED NO. OF UNITS:	132
COMMERCIAL: PROPOSED COMMERCIAL 1 FLOOR AREA (RESTAURANT): PROPOSED COMMERCIAL 2 FLOOR AREA (RESTAURANT):	±3,696 S.F. ±3,275 S.F.
TOTAL BUILDING GROSS FLOOR AREA:	±188,511 S.F.

REGULATION	REQUIREMENT (CR-B)	REQUIREMENT (NBOD)	PROVIDED (UNDER NBOD)
MIN. LOT AREA	10,000 SQ. FT.	NONE	146,063 SQ. FT.
LOT FRONTAGE	100 FT.	25 FT.	604 FT. (GW BLVD.) 513 FT. (NANTASKET AVE.) 94 FT. (ROCKLAND CIR.)
FRONT SETBACK	25 FT.	10 FT. ¹ (1.4)	1.52 FT.
SIDE SETBACK	10 FT.	NONE ²	N/A
REAR SETBACK	20 FT.	NONE ²	N/A
MAX. LOT COVERAGE	30%	-	N/A
MAX. BLDG. HEIGHT	40 FT.	40/44/46 FT. ²	40 FT.

1. 10 LINEAR FEET FROM LOT LINE INCLUDING ANY RIGHT-OF-WAY, PROVIDED HOWEVER, IF THERE ARE ALREADY BUILDINGS FRONTING ON THE SAME STREET IN THE SAME BLOCK, THE PLANNING BOARD MAY AS AN EXCEPTION BY SPECIAL PERMIT WAIVE THIS REQUIREMENT AND ESTABLISH A FRONTAGE TO CONFORM TO THE OTHER BUILDINGS. EXISTING BUILDINGS ALONG NANTASKET AVENUE CURRENTLY HAVE 1.2' BUILDING SETBACK.
2. THE MAXIMUM HEIGHT SHALL BE 40 FEET PLUS USUAL APPURTENANT STRUCTURES. IN ACCORDANCE WITH SECTION 410.3.12.G(2)(B), THE PLANNING BOARD MAY AT ITS DISCRETION ISSUE A SPECIAL PERMIT ALLOWING BUILDINGS WITHIN A SFHA TO BE ELEVATED BEYOND THE PRESCRIBED HEIGHT LIMIT TO PROVIDE FLOOD PROOFING BY FOUR (4) FEET. IN ACCORDANCE WITH SECTION 410.3.12.G(2)(B), THE PLANNING BOARD MAY AT ITS DISCRETION ISSUE A SPECIAL PERMIT ALLOWING BUILDINGS WITHIN A SFHA TO BE ELEVATED BEYOND THE PRESCRIBED HEIGHT LIMIT TO PROVIDE FLOOD PROOFING BY SIX (6) FEET UNDER SUBSECTION L OF THE NBOD.

SUBMITTAL & REVISION RECORD

NO.	DATE	DESCRIPTION
1.	10/10/2023	PERMITTING SUBMISSION
2.	01/15/2024	RESPONSE TO PEER REVIEW COMMENTS

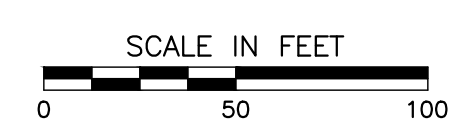
CEC
Civil & Environmental Consultants, Inc.
 31 Bellows Road · Raynham, MA 02767
 Ph: 774.501.2176 · 866.312.2024 · Fax: 774.501.2669
 www.cecinc.com

**PARAGON DUNES
 MIXED-USE REDEVELOPMENT
 189 & 193 NANTASKET AVENUE &
 0 GEORGE WASHINGTON BOULEVARD
 HULL, MASSACHUSETTS**

LAYOUT & MATERIALS PLAN

DRAWING NO.: **C200**
 SHEET 7 OF 27

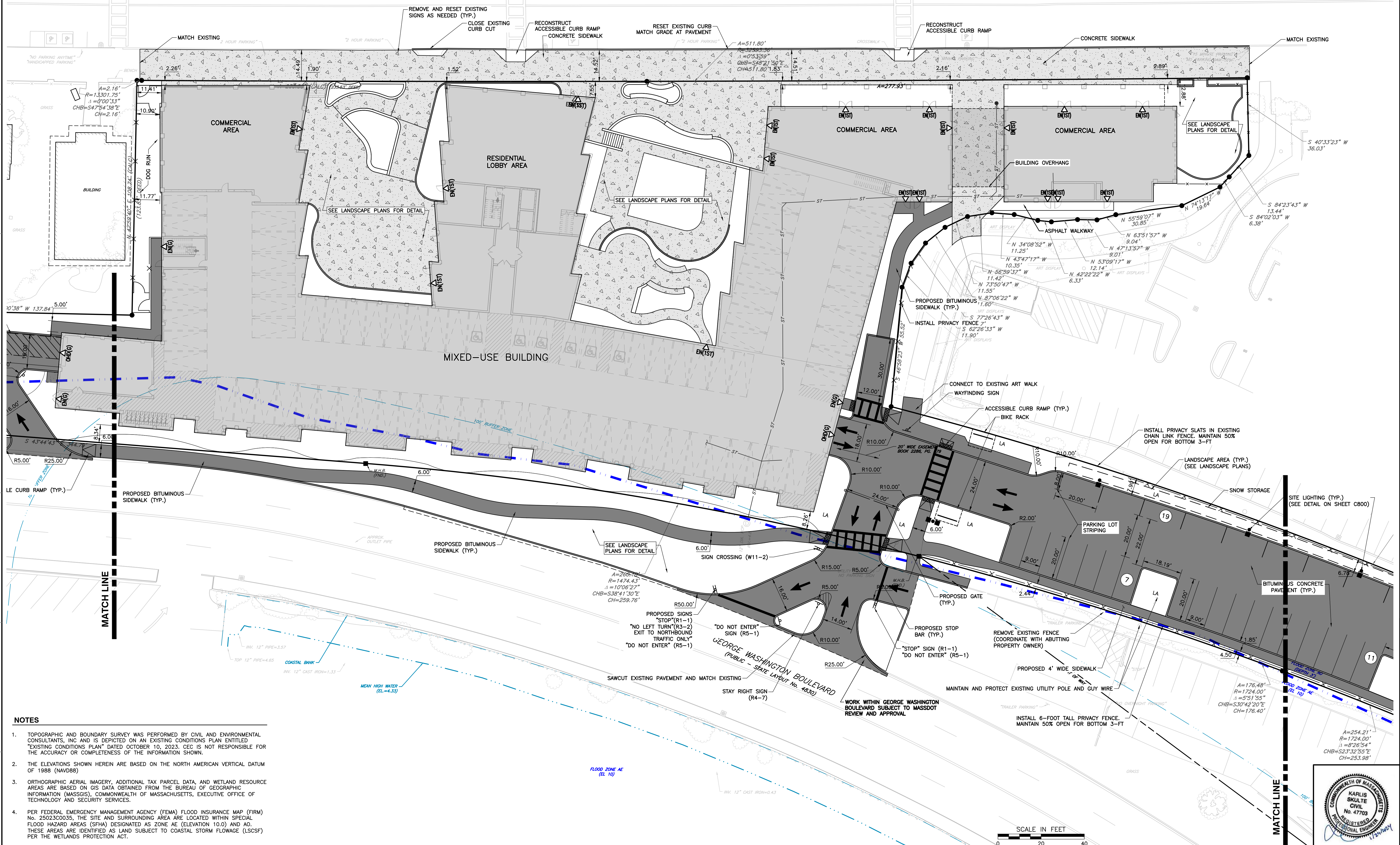
DATE: OCTOBER 10, 2023 | DRAWN BY: CJV
 DWG SCALE: 1"=20' | CHECKED BY: KPS
 PROJECT NO.: 334-762
 APPROVED BY: KPS



A:\130-001\130-762-000\DWG\130762-001-C200.dwg (2/20) 15/11/2024 2:49 PM



NANTASKET AVE. (ROUTE 228)
(PUBLIC) VARIABLE WIDTH
(BASED ON PLAN BK 30 PG. 134)



SUBMITTAL & REVISION RECORD		
NO.	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION
2	01/15/2024	RESPONSE TO PERM REVIEW COMMENTS

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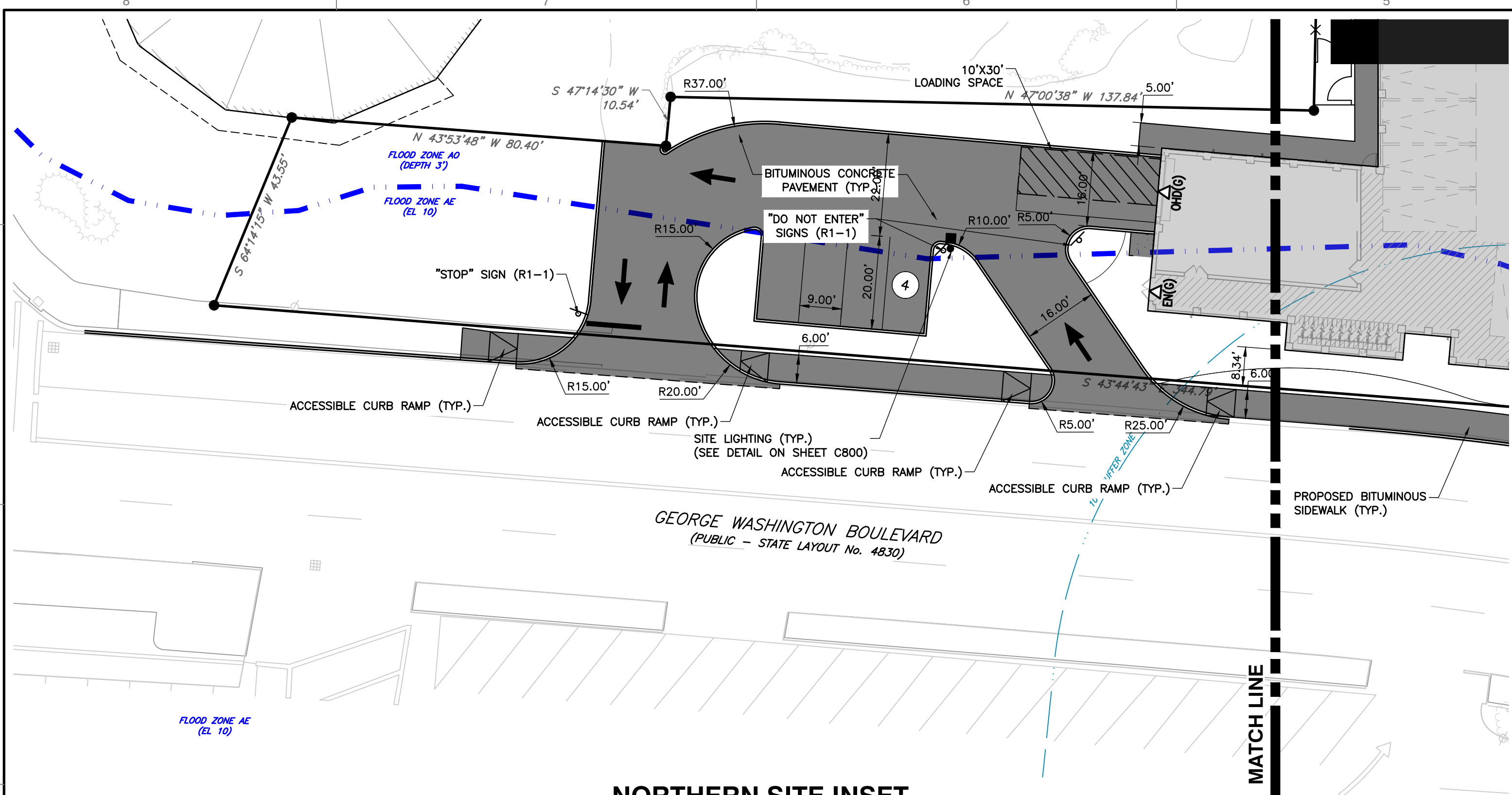
**PARAGON DUNES
 MIXED-USE REDEVELOPMENT
 189 & 193 NANTASKET AVENUE &
 0 GEORGE WASHINGTON BOULEVARD
 HULL, MASSACHUSETTS**

LAYOUT & MATERIALS PLAN	
DATE:	CJV
OCTOBER 10, 2023	SKULTE
DWG SCALE:	KPS
1"=20'	334-762
PROJECT NO.:	KPS
APPROVED BY:	

- NOTES**
- TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY CIVIL AND ENVIRONMENTAL CONSULTANTS, INC AND IS DEPICTED ON AN EXISTING CONDITIONS PLAN ENTITLED "EXISTING CONDITIONS PLAN" DATED OCTOBER 10, 2023. CEC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
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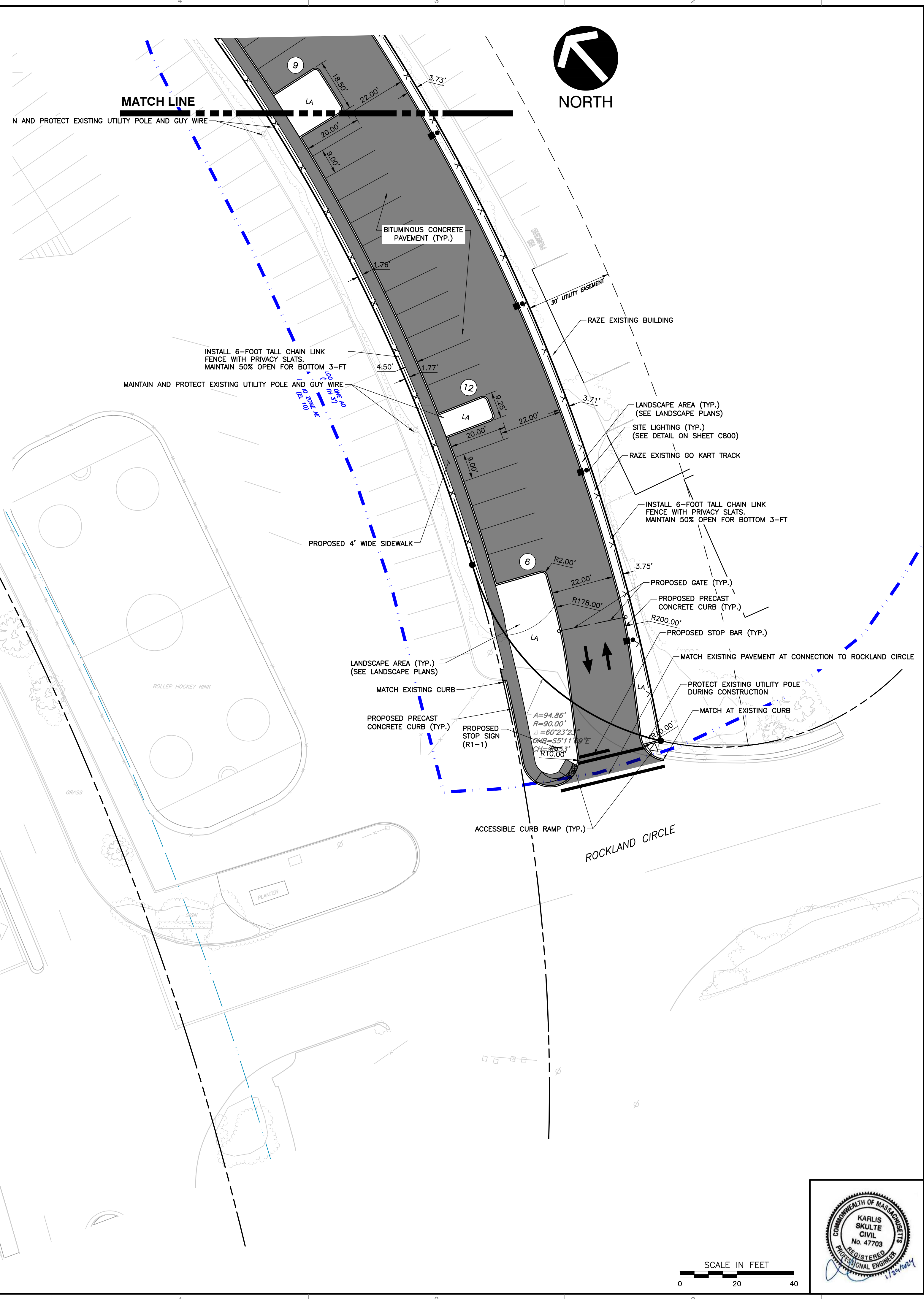


NORTHERN SITE INSET
1"=20'

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LEGEND

	EXISTING SUBJECT PROPERTY LINE	BC	BOTTOM OF CURB
	ADJACENT PROPERTY LINE	BIT	BITUMINOUS
	EXISTING EASEMENT	BW	BOTTOM OF WALL
	EXISTING RIGHT-OF-WAY	CC	CONCRETE CURB
	100' BUFFER ZONE TO REGULATED RESOURCE AREA	CLF	CHAIN LINK FENCE
	HISTORIC HIGH WATER	CONC	CONCRETE
	FEMA FLOOD ZONE BOUNDARY	ENT	ENTRANCE
	COASTAL BANK		
	LIMIT OF BARRIER BEACH		
	EXISTING CHAIN LINK FENCE LINE		
	EXISTING FENCE LINE		
	EXISTING ROADWAY CENTERLINE		
	EXISTING CURB		
	EXISTING EDGE OF PAVEMENT		
	EXISTING ASPHALT PAVEMENT		
	EXISTING STRUCTURE		
	EXISTING GUIDE RAIL		
	PROPOSED CURB & GUTTER		
	PROPOSED EDGE OF PAVED DRIVE		
	PROPOSED PAVEMENT SHOULDER		
	PROPOSED PAVEMENT		
	PROPOSED CONCRETE		
	PROPOSED PAVERS		
	PROPOSED STRIPING		
	PROPOSED EASEMENT		
	PROPOSED BUILDING		
	PROPOSED BUILDING OVERHANG		
	PROPOSED FENCE		
	PROPOSED GUIDE RAIL		
	PROPOSED SIGN		
	PROPOSED ENTRANCE		
	PROPOSED OVERHEAD DOOR		



SCALE IN FEET
0 20 40



SUBMITTAL & REVISION RECORD

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PARAGON DUNES MIXED-USE REDEVELOPMENT
189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD
HULL, MASSACHUSETTS

LAYOUT & MATERIALS PLAN

DRAWING NO. **C203**
SHEET 10 OF 27

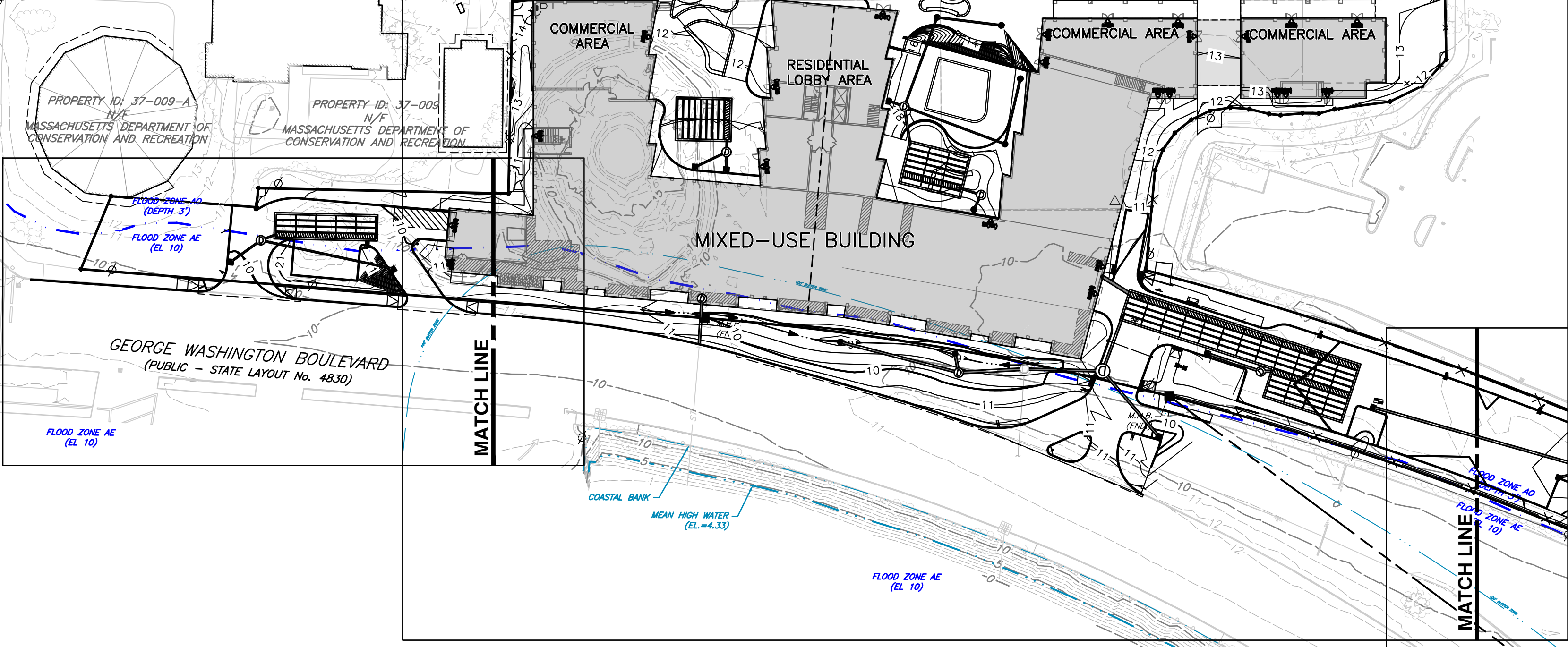
DATE:	OCTOBER 10, 2023	DRAWN BY:	CJV
DWG SCALE:	1"=20'	CHECKED BY:	KPS
PROJECT NO.:	334-762	APPROVED BY:	KPS

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NANTASKET AVE. (ROUTE 228)
(PUBLIC) VARIABLE WIDTH
(BASED ON PLAN BK 30 PG. 134)

WHARF AVENUE



GEORGE WASHINGTON BOULEVARD
(PUBLIC - STATE LAYOUT No. 4830)

MATCH LINE

MATCH LINE

SOILS DATA

DATE: Mar. 18, 2022
PERFORMED BY: Jon C. Connell (SE #430)
WITNESSED BY: N/A

DEPTH	CEC-TP1	ELEV.	DEPTH	CEC-TP2	ELEV.	DEPTH	CEC-TP3	ELEV.	DEPTH	CEC-TP4	ELEV.	DEPTH	CEC-TP5	ELEV.	DEPTH	CEC-TP6	ELEV.	DEPTH	CEC-TP7	ELEV.
0"		7.74	0"		7.74	0"		7.71	0"		7.53	0"		7.74	0"		8.65	0"		8.64
	FILL			FILL			FILL			FILL			FILL			FILL SAND			FILL SAND	
	2.5' 4/2			2.5' 4/2			2.5' 4/2													
62"		2.57	64"		2.41	61"		2.63	62"		2.36	52"		3.41	78"		2.15	78"		2.14
	MEDIUM SAND			MEDIUM SAND			SILT LOAM			PEAT/MARSH			PEAT/MARSH			SAND			SAND	
	5/4			5/4			5/1													
105"		-1.01	100"		-0.59	92"		0.04	77"		1.11	84"		0.74	108"		-0.35	108"		-0.36
	GROUNDWATER			GROUNDWATER			GROUNDWATER			GROUNDWATER			GROUNDWATER			GROUNDWATER			GROUNDWATER	
	MOTTLING: 62"			MOTTLING: 64"			MOTTLING: 61"			MOTTLING: 62"			MOTTLING: 52"			MOTTLING: 78"			MOTTLING: 78"	
	STANDING: 74"(12:27PM)			STANDING: 82"(12:26PM)			STANDING: 72"(12:25PM)			STANDING: 63"(12:23PM)			STANDING: 66"(12:22PM)			STANDING: 78"(12:55PM)			STANDING: 76"(12:40PM)	
	ESHGW: ±2.57			ESHGW: ±2.88			ESHGW: ±2.63			ESHGW: ±2.36			ESHGW: ±3.41			ESHGW: ±2.15			ESHGW: ±2.14	
	(NAVD88)			(NAVD88)			(NAVD88)			(NAVD88)			(NAVD88)			(NAVD88)			(NAVD88)	

PROF. HORIZONS THE HORIZ. PLAN

- NOTES:
- ELEVATIONS ARE REFERENCED TO NAVD88.
 - TEST PIT LOGS ARE NOT TO SCALE.
 - ESHGW ASSUMED AT REFUSAL WHERE NO MOTTLING OR SEEPING OBSERVED.

LEGEND

	EXISTING SUBJECT PROPERTY LINE		PROPOSED CURB & GUTTER
	ADJACENT PROPERTY LINE		PROPOSED EDGE OF PAVED DRIVE
	EXISTING EASEMENT		PROPOSED PAVEMENT SHOULDER
	EXISTING RIGHT-OF-WAY		PROPOSED PAVEMENT
	EXISTING INDEX (MAJOR) CONTOUR		PROPOSED CONCRETE
	EXISTING INTERMEDIATE (MINOR) CONTOUR		PROPOSED PAVERS
	100' BUFFER ZONE TO REGULATED RESOURCE AREA		PROPOSED STRIPING
	HISTORIC HIGH WATER		PROPOSED EASEMENT
	FEMA FLOOD ZONE BOUNDARY		PROPOSED BUILDING
	COASTAL BANK		PROPOSED BUILDING OVERHANG
	LIMIT OF BARRIER BEACH		PROPOSED FENCE
	EXISTING CHAIN LINK FENCE LINE		PROPOSED GUIDE RAIL
	EXISTING FENCE LINE		PROPOSED SIGN
	EXISTING ROADWAY CENTERLINE		PROPOSED ENTRANCE
	EXISTING CURB		PROPOSED OVERHEAD DOOR
	EXISTING EDGE OF PAVEMENT		PROPOSED LIMITS OF DISTURBANCE
	EXISTING ASPHALT PAVEMENT		PROPOSED INDEX (MAJOR) CONTOUR
	EXISTING STRUCTURE		PROPOSED INTERMEDIATE (MINOR) CONTOUR
	EXISTING GUIDE RAIL		PROPOSED SLOPE LABEL
	EXISTING STORM PIPE		PROPOSED SPOT ELEVATION
	EXISTING DRAIN MANHOLE		TOP OF WALL ELEVATION
	EXISTING CATCH BASIN		BOTTOM OF WALL ELEVATION
	EXISTING BORING LOCATION		TOP OF CURB ELEVATION
	HISTORICAL TEST PITS		BOTTOM OF CURB ELEVATION
	CEC TEST PITS		PROPOSED STORM PIPE
			PROPOSED LANDSCAPE INLET
			PROPOSED LANDSCAPE INLET
			PROPOSED STORM MANHOLE
			PROPOSED ROOF DRAIN
			PROPOSED SUBSURFACE CHAMBER SYSTEM
			PROPOSED STRUCTURE LABEL

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PARAGON DUNES MIXED-USE REDEVELOPMENT
189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD
HULL, MASSACHUSETTS

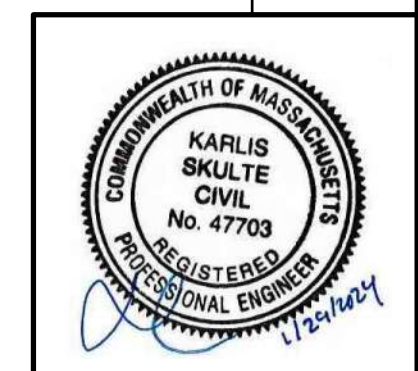
GRADING & DRAINAGE PLAN

DRAWING NO: **C300**

SHEET 11 OF 27

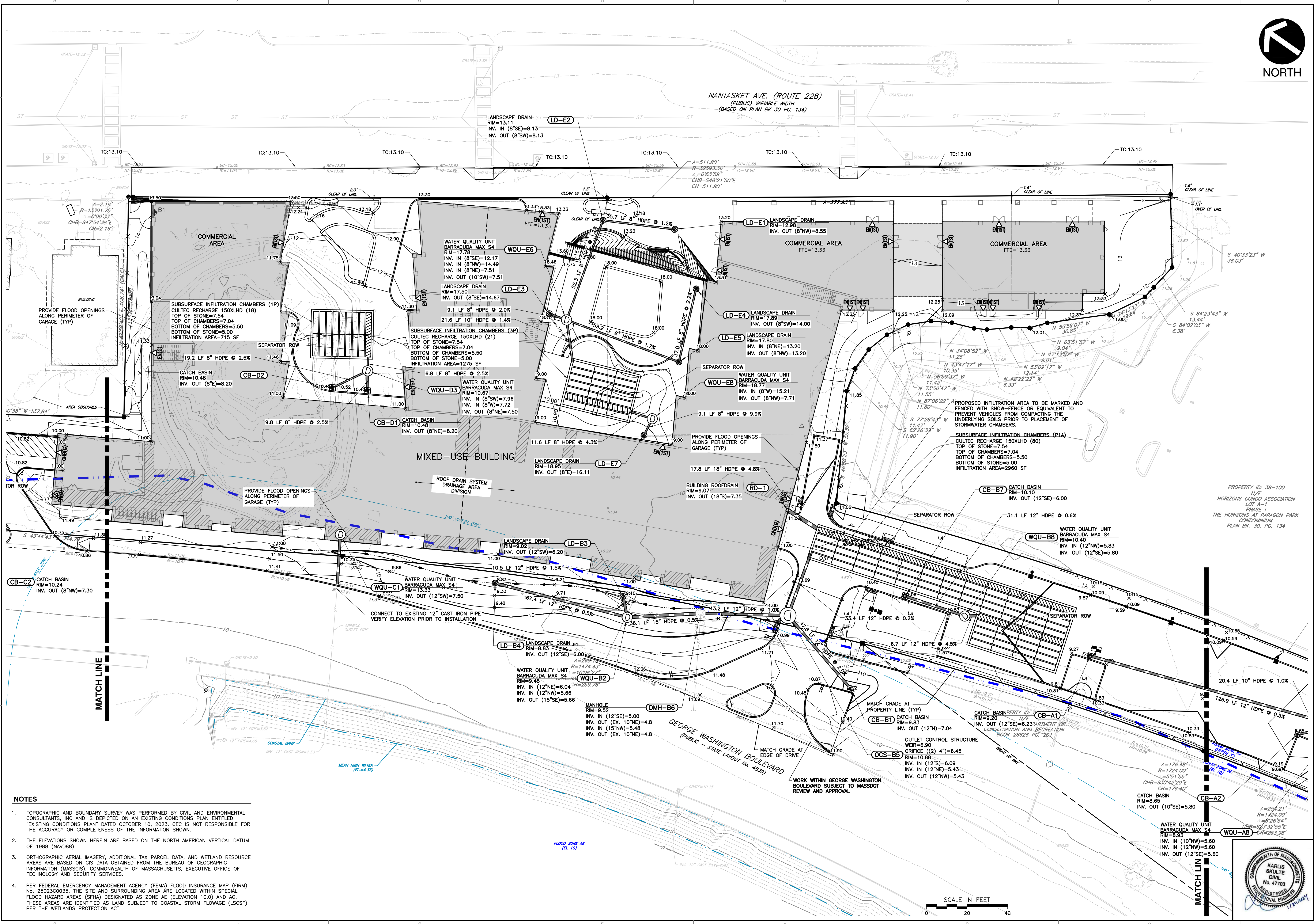
DATE: OCTOBER 10, 2023
DWG SCALE: 1"=20'
PROJECT NO: 334-762

DRAWN BY: CJV
KPS
CHECKED BY: KPS
APPROVED BY: KPS



SCALE IN FEET
0 50 100

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NANTASKET AVE. (ROUTE 228)
(PUBLIC) VARIABLE WIDTH
(BASED ON PLAN BK 30 PG. 134)

PROPERTY ID: 38-100
N/F
HORIZONS CONDO ASSOCIATION
LOT A-1
PHASE 1
THE HORIZONS AT PARAGON PARK
CONDOMINIUM
PLAN BK. 30, PG. 134

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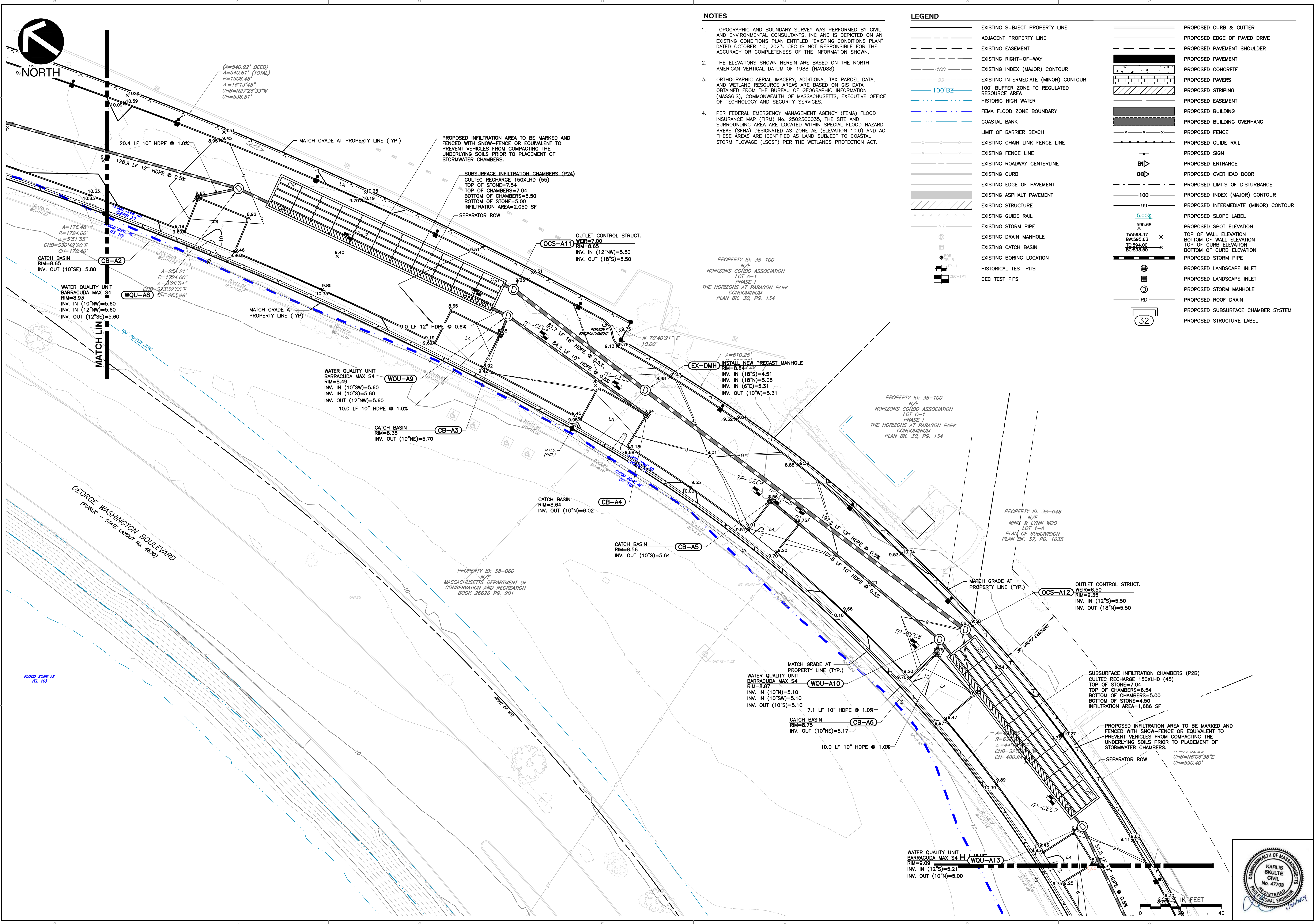
GRADING & DRAINAGE PLAN

DRAWING NO. **C301**

SHEET 12 OF 27

DATE: OCTOBER 10, 2023
DRAWN BY: CJV
DWG SCALE: 1"=20'
PROJECT NO: 334-762
CHECKED BY: KPS
APPROVED BY: KPS





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LEGEND

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	ADJACENT PROPERTY LINE		PROPOSED EDGE OF PAVED DRIVE
	EXISTING EASEMENT		PROPOSED PAVEMENT SHOULDER
	EXISTING RIGHT-OF-WAY		PROPOSED PAVEMENT
	EXISTING INDEX (MAJOR) CONTOUR		PROPOSED CONCRETE
	EXISTING INTERMEDIATE (MINOR) CONTOUR		PROPOSED PAVERS
	100' BUFFER ZONE TO REGULATED RESOURCE AREA		PROPOSED STRIPING
	HISTORIC HIGH WATER		PROPOSED EASEMENT
	FEMA FLOOD ZONE BOUNDARY		PROPOSED BUILDING
	COASTAL BANK		PROPOSED BUILDING OVERHANG
	LIMIT OF BARRIER BEACH		PROPOSED FENCE
	EXISTING CHAIN LINK FENCE LINE		PROPOSED GUIDE RAIL
	EXISTING FENCE LINE		PROPOSED SIGN
	EXISTING ROADWAY CENTERLINE		PROPOSED ENTRANCE
	EXISTING CURB		PROPOSED OVERHEAD DOOR
	EXISTING EDGE OF PAVEMENT		PROPOSED LIMITS OF DISTURBANCE
	EXISTING ASPHALT PAVEMENT		PROPOSED INDEX (MAJOR) CONTOUR
	EXISTING STRUCTURE		PROPOSED INTERMEDIATE (MINOR) CONTOUR
	EXISTING GUIDE RAIL		PROPOSED SLOPE LABEL
	EXISTING STORM PIPE		PROPOSED SPOT ELEVATION
	EXISTING DRAIN MANHOLE		TOP OF WALL ELEVATION
	EXISTING CATCH BASIN		BOTTOM OF WALL ELEVATION
	EXISTING BORING LOCATION		TOP OF CURB ELEVATION
	HISTORICAL TEST PITS		BOTTOM OF CURB ELEVATION
	CEC TEST PITS		PROPOSED STORM PIPE
			PROPOSED LANDSCAPE INLET
			PROPOSED LANDSCAPE INLET
			PROPOSED STORM MANHOLE
			PROPOSED ROOF DRAIN
			PROPOSED SUBSURFACE CHAMBER SYSTEM
			PROPOSED STRUCTURE LABEL

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 189 & 193 NANTASKET AVENUE &
 0 GEORGE WASHINGTON BOULEVARD
 HULL, MASSACHUSETTS**

GRADING & DRAINAGE PLAN

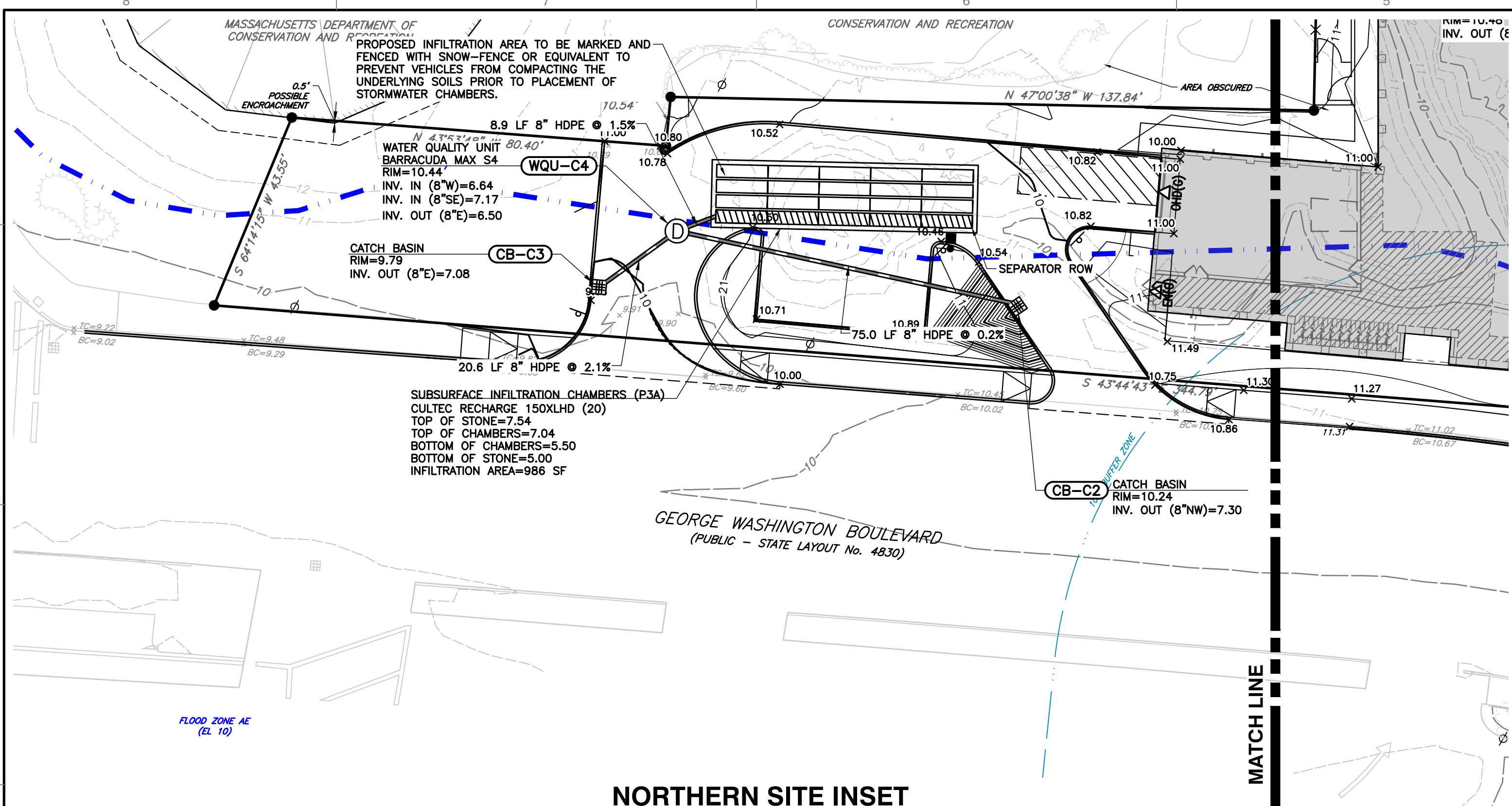
DRAWING NO. **C302**

SHEET 13 OF 27

DATE: OCTOBER 10, 2023 | DRAWN BY: CJK
 DWG SCALE: 1"=20' | CHECKED BY: KPS
 PROJECT NO: 334-762
 APPROVED BY: KPS



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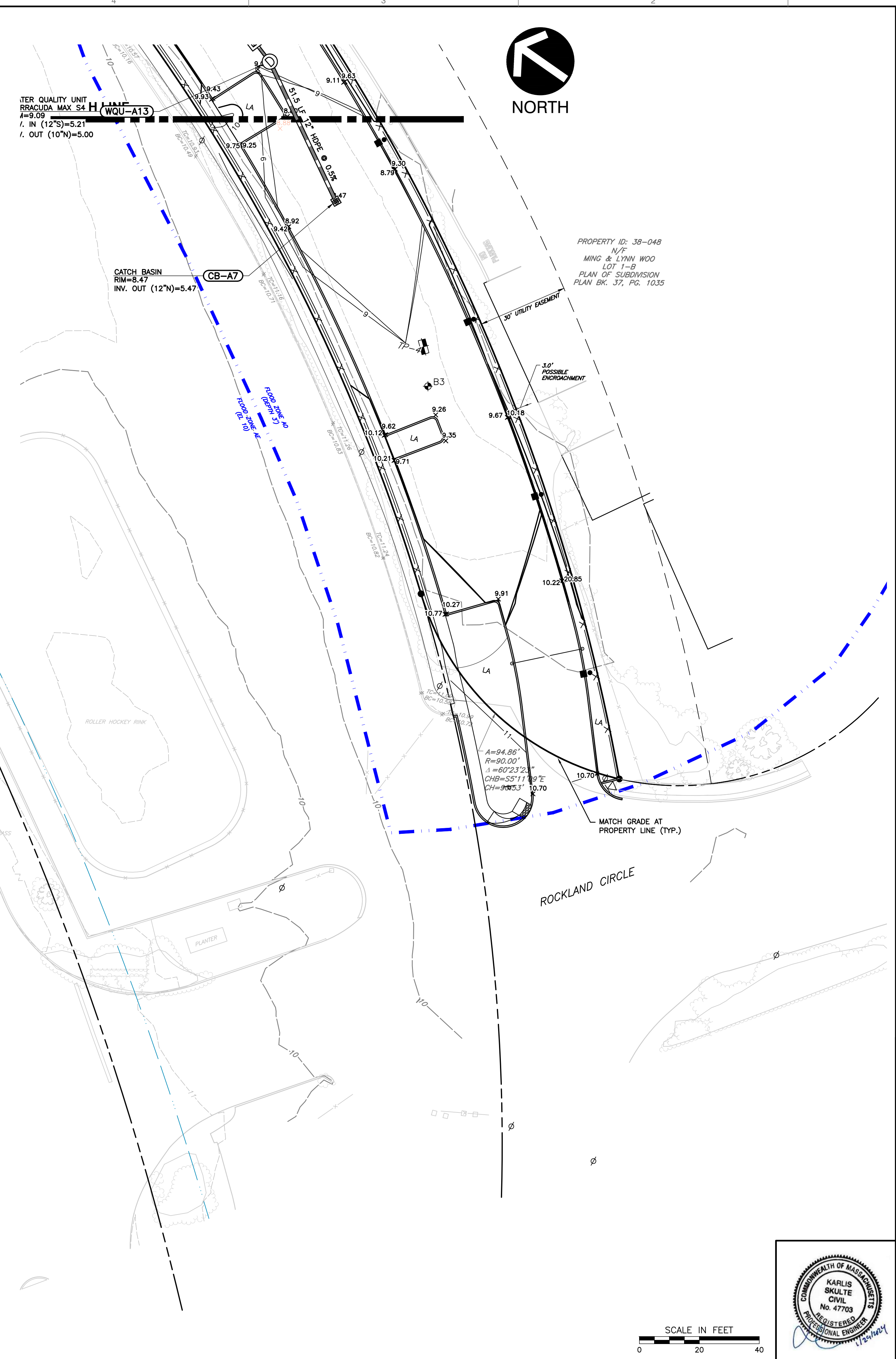


NORTHERN SITE INSET
1"=20'

- NOTES**
- TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY CIVIL AND ENVIRONMENTAL CONSULTANTS, INC AND IS DEPICTED ON AN EXISTING CONDITIONS PLAN ENTITLED "EXISTING CONDITIONS PLAN" DATED OCTOBER 10, 2023. CEC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
 - THE ELEVATIONS SHOWN HEREIN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
 - ORTHOGRAPHIC AERIAL IMAGERY, ADDITIONAL TAX PARCEL DATA, AND WETLAND RESOURCE AREAS ARE BASED ON GIS DATA OBTAINED FROM THE BUREAU OF GEOGRAPHIC INFORMATION (MASSGIS), COMMONWEALTH OF MASSACHUSETTS, EXECUTIVE OFFICE OF TECHNOLOGY AND SECURITY SERVICES.
 - PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE MAP (FIRM) No. 25023C0035, THE SITE AND SURROUNDING AREA ARE LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS (SFHA) DESIGNATED AS ZONE AE (ELEVATION 10.0') AND AO. THESE AREAS ARE IDENTIFIED AS LAND SUBJECT TO COASTAL STORM FLOWAGE (LSCSF) PER THE WETLANDS PROTECTION ACT.

LEGEND

—	EXISTING SUBJECT PROPERTY LINE	—	PROPOSED CURB & GUTTER
- - -	ADJACENT PROPERTY LINE	—	PROPOSED EDGE OF PAVED DRIVE
- - -	EXISTING EASEMENT	—	PROPOSED PAVEMENT SHOULDER
- - -	EXISTING RIGHT-OF-WAY	—	PROPOSED PAVEMENT
- - -	EXISTING INDEX (MAJOR) CONTOUR	—	PROPOSED CONCRETE
- - -	EXISTING INTERMEDIATE (MINOR) CONTOUR	—	PROPOSED PAVERS
- - -	100' BUFFER ZONE TO REGULATED RESOURCE AREA	—	PROPOSED STRIPING
- - -	HISTORIC HIGH WATER	—	PROPOSED EASEMENT
- - -	FEMA FLOOD ZONE BOUNDARY	—	PROPOSED BUILDING
- - -	COASTAL BANK	—	PROPOSED BUILDING OVERHANG
- - -	LIMIT OF BARRIER BEACH	—	PROPOSED FENCE
- - -	EXISTING CHAIN LINK FENCE LINE	—	PROPOSED GUIDE RAIL
- - -	EXISTING FENCE LINE	—	PROPOSED SIGN
- - -	EXISTING ROADWAY CENTERLINE	—	PROPOSED ENTRANCE
- - -	EXISTING CURB	—	PROPOSED OVERHEAD DOOR
- - -	EXISTING EDGE OF PAVEMENT	—	PROPOSED LIMITS OF DISTURBANCE
- - -	EXISTING ASPHALT PAVEMENT	—	PROPOSED INDEX (MAJOR) CONTOUR
- - -	EXISTING STRUCTURE	—	PROPOSED INTERMEDIATE (MINOR) CONTOUR
- - -	EXISTING GUIDE RAIL	—	PROPOSED SLOPE LABEL
- - -	EXISTING STORM PIPE	—	PROPOSED SPOT ELEVATION
- - -	EXISTING DRAIN MANHOLE	—	TOP OF WALL ELEVATION
- - -	EXISTING CATCH BASIN	—	BOTTOM OF WALL ELEVATION
- - -	EXISTING BORING LOCATION	—	TOP OF CURB ELEVATION
- - -	HISTORICAL TEST PITS	—	BOTTOM OF CURB ELEVATION
- - -	CEC TEST PITS	—	PROPOSED STORM PIPE
		—	PROPOSED LANDSCAPE INLET
		—	PROPOSED LANDSCAPE INLET
		—	PROPOSED STORM MANHOLE
		—	PROPOSED ROOF DRAIN
		—	PROPOSED SUBSURFACE CHAMBER SYSTEM
		—	PROPOSED STRUCTURE LABEL



SCALE IN FEET
0 20 40

SUBMITTAL & REVISION RECORD

NO.	DATE	DESCRIPTION
1.	10/10/2023	PERMITTING SUBMISSION
2.	01/10/2024	RESPONSE TO PER REVIEW COMMENTS

CEC
Civil & Environmental Consultants, Inc.
 31 Belkows Road · Raynham, MA 02767
 Ph: 774.501.2176 · 866.312.2024 · Fax: 774.501.2669
 www.cecinc.com

GRADING & DRAINAGE PLAN
PARAGON DUNES MIXED-USE REDEVELOPMENT
189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD HULL, MASSACHUSETTS

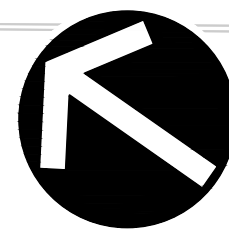
DRAWING NO. C303
 SHEET 14 OF 27

DATE: OCTOBER 10, 2023
 DWG SCALE: 1"=20'
 PROJECT NO: 334-762

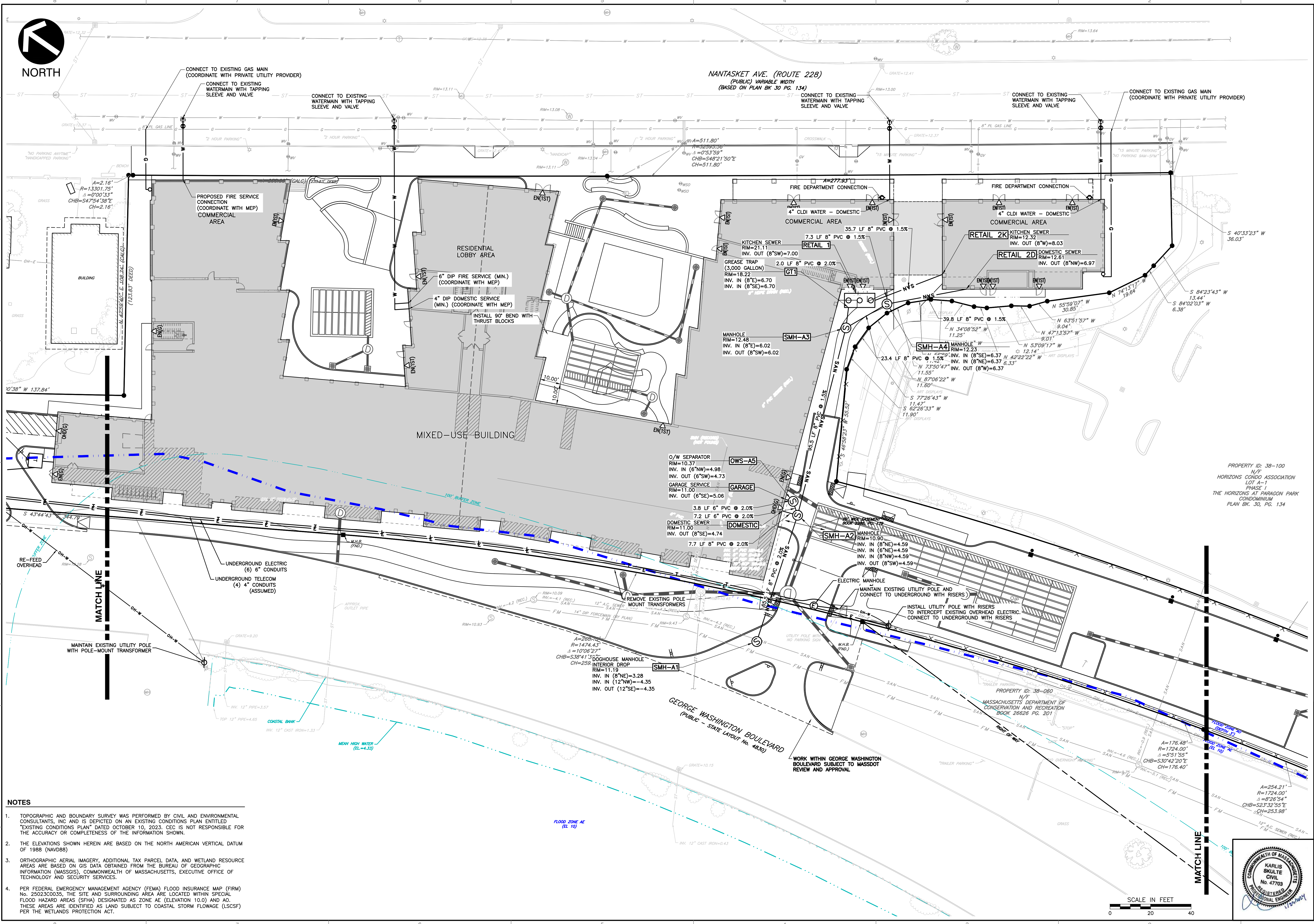
DRAWN BY: CJV
 CHECKED BY: KPS
 APPROVED BY: KPS



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NORTH



- NOTES**
1. TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY CIVIL AND ENVIRONMENTAL CONSULTANTS, INC. AND IS DEPICTED ON AN EXISTING CONDITIONS PLAN ENTITLED "EXISTING CONDITIONS PLAN" DATED OCTOBER 10, 2023. CEC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
 2. THE ELEVATIONS SHOWN HEREIN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
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SCALE IN FEET
0 20 40



SUBMITTAL & REVISION RECORD

NO.	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION
2	01/15/2024	RESPONSE TO PEER REVIEW COMMENTS

Civil & Environmental Consultants, Inc.
 31 Bellows Road - Raynham, MA 02767
 Ph: 774.501.2176 - 866.312.2024 - Fax: 774.501.2669
 www.cecinc.com

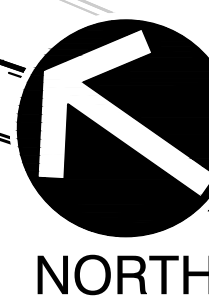
**PARAGON DUNES
 MIXED-USE REDEVELOPMENT
 189 & 193 NANTASKET AVENUE &
 0 GEORGE WASHINGTON BOULEVARD
 HULL, MASSACHUSETTS**

UTILITY PLAN

DRAWING NO: **C501**

SHEET 16 OF 27

DATE:	OCTOBER 10, 2023	DRAWN BY:	CJV
DWG SCALE:	1"=20'	CHECKED BY:	KPS
PROJECT NO:	11-20	APPROVED BY:	KPS



NORTH

(A=540.92' DEED)
A=540.81' (TOTAL)
R=1908.48'
Δ=16°13'48"
CHB=N27°26'33"W
CH=538.81'

A=176.48'
R=1724.00'
Δ=5°51'55"
CHB=S30°42'20"E
CH=176.40'

A=254.21'
R=1724.00'
Δ=8°26'54"
CHB=S23°32'55"E
CH=253.98'

PROPERTY ID: 38-100
N/F
HORIZONS CONDO ASSOCIATION
LOT A-1
PHASE
THE HORIZONS AT PARAGON PARK
CONDOMINIUM
PLAN BK. 30, PG. 134

A=610.25'
R=687.27'
Δ=50°52'29"
CHB=N6°06'36"E
CH=590.40'

PROPERTY ID: 38-048
N/F
MING & LYNN WOO
LOT 1-A
PLAN OF SUBDIVISION
PLAN BK. 37, PG. 1035

PROPERTY ID: 38-060
N/F
MASSACHUSETTS DEPARTMENT OF
CONSERVATION AND RECREATION
BOOK 26626 PG. 201

LEGEND

	EXISTING SUBJECT PROPERTY LINE		PROPOSED CURB & GUTTER
	ADJACENT PROPERTY LINE		PROPOSED EDGE OF PAVED DRIVE
	EXISTING EASEMENT		PROPOSED PAVEMENT SHOULDER
	EXISTING RIGHT-OF-WAY		PROPOSED EASEMENT
	100' BUFFER ZONE TO REGULATED RESOURCE AREA		PROPOSED BUILDING
	HISTORIC HIGH WATER		PROPOSED BUILDING OVERHANG
	FEMA FLOOD ZONE BOUNDARY		PROPOSED FENCE
	COASTAL BANK		PROPOSED GUIDE RAIL
	LIMIT OF BARRIER BEACH		PROPOSED SIGN
	EXISTING CHAIN LINK FENCE LINE		PROPOSED ENTRANCE
	EXISTING FENCE LINE		PROPOSED OVERHEAD DOOR
	EXISTING ROADWAY CENTERLINE		PROPOSED SANITARY SEWER
	EXISTING CURB		PROPOSED SANITARY MANHOLE
	EXISTING EDGE OF PAVEMENT		PROPOSED SANITARY CLEANOUT
	EXISTING ASPHALT PAVEMENT		PROPOSED WATER LINE
	EXISTING STRUCTURE		PROPOSED WATER LINE BEND / TEE
	EXISTING GUIDE RAIL		PROPOSED FIRE HYDRANT
	EXISTING STORM PIPE		PROPOSED WATER VALVE
	EXISTING WATER LINE		PROPOSED FIRE DEPT. CONNECTION
	EXISTING SANITARY SEWER LINE		PROPOSED UNDERGROUND ELECTRIC
	EXISTING GAS LINE		PROPOSED ELECTRIC HANDHOLE
	EXISTING OVERHEAD WIRE		PROPOSED ELECTRIC MANHOLE
	EXISTING UNDERGROUND ELECTRIC LINE		PROPOSED GAS LINE
	EXISTING TELECOMMUNICATIONS LINE		PROPOSED COMMUNICATION LINES
	EXISTING WATER VALVE		PROPOSED UTILITY CENTERLINE
	EXISTING FIRE HYDRANT		
	EXISTING WATER SHUT OFF/WATER GATE		
	EXISTING SPIGOT		
	EXISTING DRAIN MANHOLE		
	EXISTING CATCH BASIN		
	EXISTING SEWER MANHOLE		
	EXISTING GAS SHUT OFF/GAS GATE		
	EXISTING UTILITY POLE		
	EXISTING BORING LOCATION		
	EXISTING SIGN		
	EXISTING GAS METER		
	EXISTING AIR CONDITIONING UNIT		
	EXISTING ELECTRIC METER		

MATCH LINE

MATCH LINE

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SUBMITTAL & REVISION RECORD

NO	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION
2	01/10/2024	RESPONSE TO PEER REVIEW COMMENTS

Civil & Environmental Consultants, Inc.
 31 Bellows Road - Raynham, MA 02767
 Ph: 774.501.2176 • 866.312.2024 • Fax: 774.501.2669
 www.cecinc.com

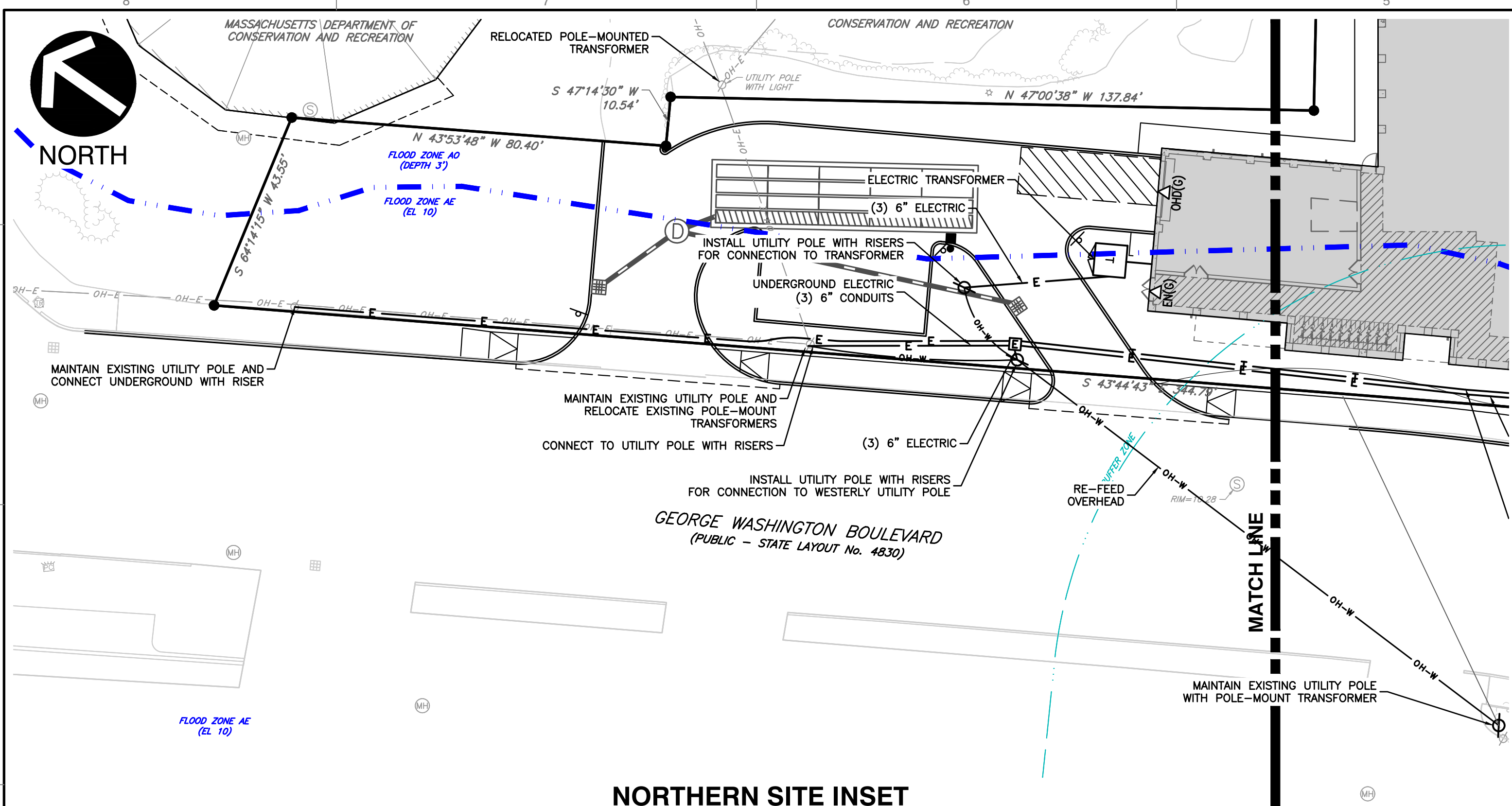
**PARAGON DUNES
 MIXED-USE REDEVELOPMENT
 189 & 193 NANTASKET AVENUE &
 0 GEORGE WASHINGTON BOULEVARD
 HULL, MASSACHUSETTS**

UTILITY PLAN

DATE:	OCTOBER 10, 2023	DRAWN BY:	CJV
DWG SCALE:	1"=20'	CHECKED BY:	KPS
PROJECT NO.:	334-762	APPROVED BY:	KPS

DRAWING NO. **C502**
 SHEET 17 OF 27

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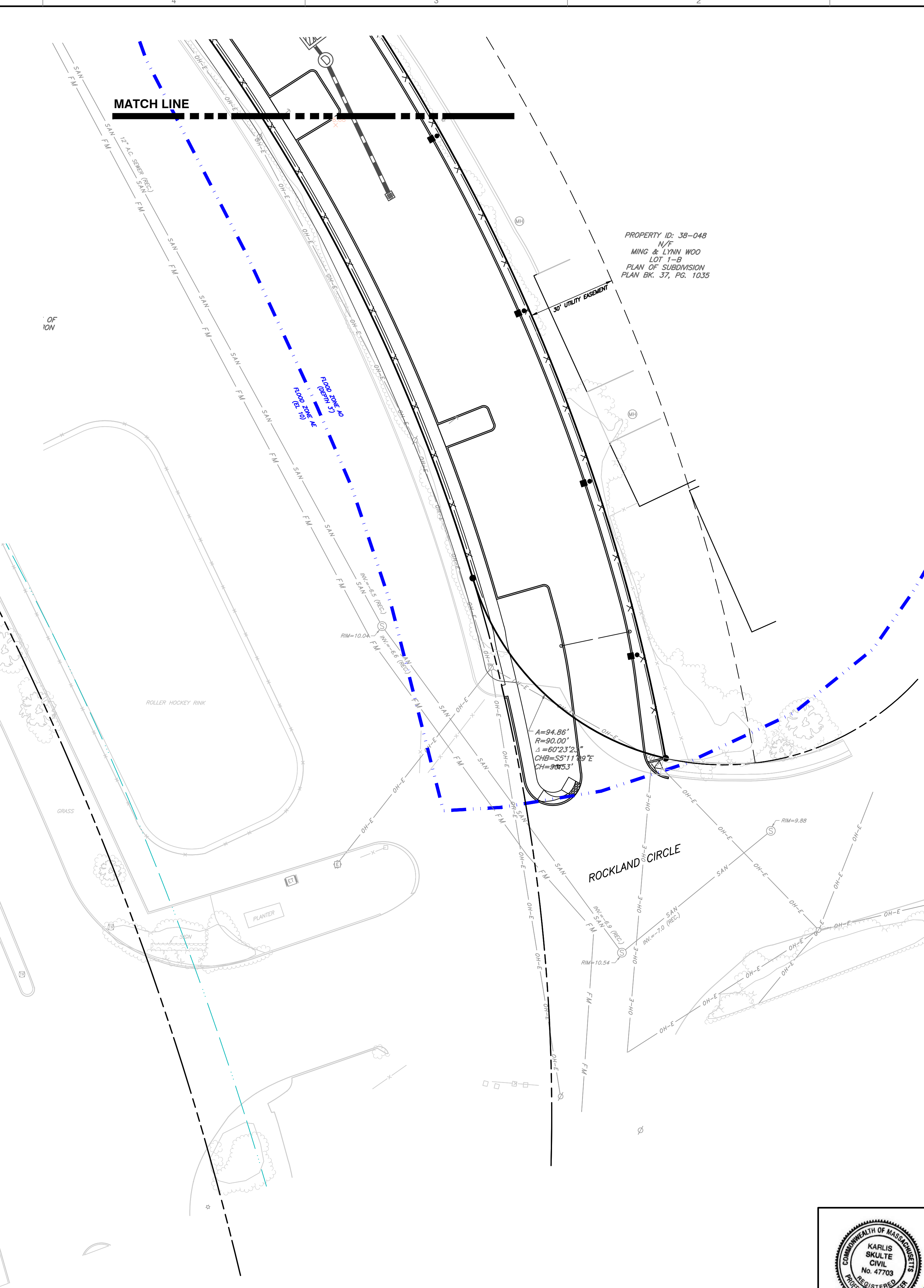


NORTHERN SITE INSET
1"=20'

LEGEND

	EXISTING SUBJECT PROPERTY LINE		PROPOSED CURB & GUTTER
	ADJACENT PROPERTY LINE		PROPOSED EDGE OF PAVED DRIVE
	EXISTING EASEMENT		PROPOSED PAVEMENT SHOULDER
	EXISTING RIGHT-OF-WAY		PROPOSED EASEMENT
	100' BUFFER ZONE TO REGULATED RESOURCE AREA		PROPOSED BUILDING
	HISTORIC HIGH WATER		PROPOSED BUILDING OVERHANG
	FEMA FLOOD ZONE BOUNDARY		PROPOSED FENCE
	COASTAL BANK		PROPOSED GUIDE RAIL
	LIMIT OF BARRIER BEACH		PROPOSED SIGN
	EXISTING CHAIN LINK FENCE LINE		PROPOSED ENTRANCE
	EXISTING FENCE LINE		PROPOSED OVERHEAD DOOR
	EXISTING ROADWAY CENTERLINE		PROPOSED SANITARY SEWER
	EXISTING CURB		PROPOSED SANITARY MANHOLE
	EXISTING EDGE OF PAVEMENT		PROPOSED SANITARY CLEANOUT
	EXISTING ASPHALT PAVEMENT		PROPOSED WATER LINE
	EXISTING STRUCTURE		PROPOSED WATER LINE BEND / TEE
	EXISTING GUIDE RAIL		PROPOSED FIRE HYDRANT
	EXISTING STORM PIPE		PROPOSED WATER VALVE
	EXISTING WATER LINE		PROPOSED FIRE DEPT. CONNECTION
	SAN		PROPOSED UNDERGROUND ELECTRIC
	EXISTING SANITARY SEWER LINE		PROPOSED ELECTRIC HANDHOLE
	EXISTING GAS LINE		PROPOSED ELECTRIC MANHOLE
	OH-E		PROPOSED GAS LINE
	EXISTING OVERHEAD WIRE		PROPOSED COMMUNICATION LINES
	UG-E		PROPOSED UTILITY CENTERLINE
	EXISTING UNDERGROUND ELECTRIC LINE		
	EXISTING TELECOMMUNICATIONS LINE		
	EXISTING WATER VALVE		
	EXISTING FIRE HYDRANT		
	EXISTING WATER SHUT OFF/WATER GATE		
	EXISTING SPIGOT		
	EXISTING DRAIN MANHOLE		
	EXISTING CATCH BASIN		
	EXISTING SEWER MANHOLE		
	EXISTING GAS SHUT OFF/GAS GATE		
	EXISTING UTILITY POLE		
	EXISTING BORING LOCATION		
	EXISTING SIGN		
	EXISTING GAS METER		
	EXISTING AIR CONDITIONING UNIT		
	EXISTING ELECTRIC METER		

- NOTES**
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SCALE IN FEET
0 20 40



SUBMITTAL & REVISION RECORD

NO	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION
2	01/13/2024	RESPONSE TO PER REVIEW COMMENTS

C&E
Civil & Environmental Consultants, Inc.
31 Belkows Road · Raynham, MA 02767
Ph: 774.501.2176 · 866.312.2024 · Fax: 774.501.2669
www.cecinc.com

PARAGON DUNES MIXED-USE REDEVELOPMENT
189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD HULL, MASSACHUSETTS

UTILITY PLAN

DATE: OCTOBER 10, 2023	DRAWN BY: CJV
DWG SCALE: 1"=20'	CHECKED BY: KPS
PROJECT NO: 334-762	APPROVED BY: KPS

DRAWING NO: **C503**
SHEET 18 OF 27

P:\130-0001\134-762-1\0400\DWG\1001\134762-001-C503.dwg (5/23/2024 - 1:21:2024 2:21 PM)



NORTH

NANTASKET AVE. (ROUTE 228)
(PUBLIC) VARIABLE WIDTH
(BASED ON PLAN BK 30 PG. 134)

COMMERCIAL AREA

RESIDENTIAL LOBBY AREA

COMMERCIAL AREA

COMMERCIAL AREA

MIXED-USE BUILDING

SHEET C701

PROPERTY ID: 37-009-A
N/F
MASSACHUSETTS DEPARTMENT OF
CONSERVATION AND RECREATION

PROPERTY ID: 37-008
N/F
MASSACHUSETTS DEPARTMENT OF
CONSERVATION AND RECREATION

GEORGE WASHINGTON BOULEVARD
(PUBLIC - STATE LAYOUT No. 4830)

FLOOD ZONE AE
(EL. 10)

COASTAL BANK
MEAN HIGH WATER
(EL. +4.33)

FLOOD ZONE AE
(EL. 10)

FLOOD ZONE AE
(EL. 10)

PROPERTY ID: 38-100
N/F
HORIZONS CONDO ASSOCIATION
LOT A-1
PHASE 1
THE HORIZONS AT PARAGON PARK
CONDOMINIUM
PLAN BK. 30, PG. 134

PROPERTY ID: 38-100
N/F
HORIZONS CONDO ASSOCIATION
LOT A-1
PHASE 1
THE HORIZONS AT PARAGON PARK
CONDOMINIUM
PLAN BK. 30, PG. 134

PROPERTY ID: 38-048
N/F
MING & LYNN WOO
LOT 1-A
PLAN OF SUBDIVISION
PLAN BK. 37, PG. 1035

PROPERTY ID: 38-060
N/F
MASSACHUSETTS DEPARTMENT OF
CONSERVATION AND RECREATION
BOOK 26826 PG. 201

PROPERTY ID: 38-048
N/F
MING & LYNN WOO
LOT 1-B
PLAN OF SUBDIVISION
PLAN BK. 37, PG. 1035

LEGEND

	EXISTING SUBJECT PROPERTY LINE		PROPOSED CURB & GUTTER
	ADJACENT PROPERTY LINE		PROPOSED EDGE OF PAVED DRIVE
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	EXISTING RIGHT-OF-WAY		PROPOSED PAVEMENT
	EXISTING INDEX (MAJOR) CONTOUR		PROPOSED CONCRETE
	EXISTING INTERMEDIATE (MINOR) CONTOUR		PROPOSED PAVERS
	EXISTING BARRIER BEACH		PROPOSED STRIPING
	EXISTING TIDAL FLAT		PROPOSED EASEMENT
	EXISTING COASTAL BARRIER BEACH		PROPOSED BUILDING
	EXISTING COASTAL BEACH		PROPOSED BUILDING OVERHANG
	100' BUFFER ZONE TO REGULATED RESOURCE AREA		PROPOSED FENCE
	HISTORIC HIGH WATER		PROPOSED GUIDE RAIL
	FEMA FLOOD ZONE BOUNDARY		PROPOSED SIGN
	COASTAL BANK		PROPOSED ENTRANCE
	LIMIT OF BARRIER BEACH		PROPOSED OVERHEAD DOOR
	EXISTING CHAIN LINK FENCE LINE		BOTTOM OF CURB
	EXISTING FENCE LINE		BITUMINOUS
	EXISTING ROADWAY CENTERLINE		BOTTOM OF WALL
	EXISTING CURB		CONCRETE CURB
	EXISTING EDGE OF PAVEMENT		CHAIN LINK FENCE
	EXISTING ASPHALT PAVEMENT		CONCRETE
	EXISTING STRUCTURE		ENTRANCE
	EXISTING GUIDE RAIL		
	EXISTING FIRE HYDRANT		
	EXISTING GAS SHUT OFF/GAS GATE		
	EXISTING UTILITY POLE		
	EXISTING BORING LOCATION		
	EXISTING SIGN		
	EXISTING GAS METER		
	EXISTING AIR CONDITIONING UNIT		
	EXISTING ELECTRIC METER		
	EXISTING DECIDUOUS TREE		
	EXISTING CONIFEROUS TREE		
	HISTORICAL TEST PITS		
	CEC TEST PITS		

NOTES

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PLANTING SOIL PREPARATION NOTES:

- BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- MIX SOIL AMENDMENTS AS SPECIFIED ON PLANTING DETAILS. MIX FERTILIZERS WITH TOPSOIL AT RATES INDICATED. DELAY MIXING FERTILIZER IF PLANTING DOES NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
- FOR TREE PIT OR TRENCH BACKFILL, MIX PLANTING SOIL BEFORE BACKFILLING AND STOCKPILE AT SITE. PROVIDE SPECIFIED FERTILIZER AT A RATE OF:
SHADE TREE: 2 POUNDS PER INCH OF CALIPER
SMALL TREE: 1 POUND PER INCH OF CALIPER
- FOR PLANTING BEDS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.
APPLY SPECIFIED COMMERCIAL FERTILIZER AT RATES AND THOROUGHLY MIX INTO UPPER 2" OF TOPSOIL. PROVIDE SPECIFIED FERTILIZER AT THE FOLLOWING RATES:
SHRUBS: 1/4 POUND PER FOOT HEIGHT OR SPREAD
EVERGREENS: 1/8 POUND PER FOOT HEIGHT OR SPREAD
HERBACEOUS PLANTS: 1/8 POUND PER PLANT.
- FOR PARKING LOT ISLANDS EXCAVATE MIN. 24" DEPTH TO REMOVE ALL CONSTRUCTION DEBRIS. BACKFILL WITH BLENDED MIX OF 60% TOPSOIL, 30% COMPOST AND 10% SAND MIX. COMPACT BACKFILL IN 8" LIFTS TO PREVENT SETTLING AFTER PLANT INSTALLATION.
- GROUND COVER AND PERENNIAL PLANT BED PREPARATION: TILL SOIL IN BEDS TO A MINIMUM DEPTH OF 8" AND MIX WITH SPECIFIED FERTILIZERS.
FERTILIZER AT A RATE OF 2 POUNDS PER 100 SQ.FT.
- FINAL GRADING AND PLACEMENT OF TOPSOIL FOR TURF & PLANTING AREAS:
A. LOOSEN SUBGRADE AND TURF AREAS TO A MINIMUM DEPTH OF 4" - 6". REMOVE STONES MEASURING OVER 1-1/2" IN ANY DIMENSION. REMOVE STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATTER. LIMIT PREPARATION TO AREAS WHICH WILL BE PLANTED PROMPTLY AFTER PREPARATION.
B. SPREAD TOPSOIL TO MINIMUM DEPTH REQUIRED TO MEET LINES, GRADES, AND ELEVATIONS SHOWN, AFTER LIGHT ROLLING AND NATURAL SETTLEMENT.
C. MINIMUM DEPTH OF TOPSOIL SHALL BE 4" UNLESS OTHERWISE INDICATED. IN TREE AND SHRUB PLANTING AREAS THERE SHALL BE 18"-24" TOPSOIL AROUND THE PLANT, AT LEAST IN AN AREA EQUAL TO THE PLANT'S MATURE CANOPY SIZE.
D. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF TOPSOIL REQUIRED, WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER AND THEN PLACE REMAINDER OF TOPSOIL.
E. ALL TURF AREAS ADJACENT TO WALKS, CONTRACTOR TO HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION.
F. AREAS ADJACENT TO STRUCTURES AND CURB ISLANDS, SHALL BE FREE OF GRAVEL AND DEBRIS, LOOSE COMPACTED HARDPAN - MIN. DEPTH OF 18" BEFORE PLACEMENT OF TOPSOIL.

GENERAL LANDSCAPE NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- CONTRACTOR SHALL REQUEST UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF WORK. VERIFY ALL EXISTING UTILITIES AND CONDITIONS PRIOR TO ANY EXCAVATION AT LEAST 72 HOURS PRIOR TO LANDSCAPE INSTALLATION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
- NO CHANGES TO THE SITE LANDSCAPE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUALITY AND QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON DRAWINGS. PLANT MATERIAL DELIVERED TO SITE SHALL BE STORED IN SECURE LOCATION NOT IN CONFLICT WITH OTHER CONSTRUCTION OPERATIONS AND MAINTAINED UNTIL TIME OF INSTALLATION.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT "AMERICAN ASSOCIATION OF NURSERY STOCK, ANSI Z60.1-2004", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED.
- ALL PLANTS SHALL BE PLANTED SO THAT THE ROOT CROWN IS PLANTED AT GRADE LEVEL.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. TWINE OR ROPE SHALL BE REMOVED FROM AROUND CROWN OF TRUNK TO PREVENT GIRDLING OF TREE OR SHRUB.
- WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- CONTRACTOR TO REMOVE ALL LANDSCAPE DEBRIS FROM PLANTING OPERATIONS FROM THE PROJECT SITE. NO OPEN BURNING SHALL BE PERMITTED ON SITE.
- THE DAY PRIOR TO PLANTING, THE LOCATIONS OF ALL TREES AND SHRUBS SHALL BE STAKED AND PLANTING BEDLINE OUTLINES DEFINED FOR APPROVAL BY OWNER(S).
- THE LANDSCAPE CONTRACTOR SHALL REFER TO CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE (1) CALENDAR YEAR FROM THE TIME OF SUBSTANTIAL COMPLETION OF PROJECT. AT THE END OF THIS PERIOD, ANY PLANT MATERIAL DEEMED UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL COST TO OWNER.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE PLANT SCHEDULE, THE PLANS SHALL TAKE PRECEDENCE.
- CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- STAKES AND OR GUY WIRES SHALL BE REMOVED AFTER ONE (1) YEAR OF INSTALLATION.
- ALL EXISTING LANDSCAPING SHALL BE MAINTAINED DURING CONSTRUCTION. ANY MATERIAL DEEMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT, WILL BE REPLACED EQUIVALENT IN SIZE AND SHAPE AT NO COST TO OWNER.
- IF PLANT SPECIES SPECIFIED ARE FOUND TO BE UNAVAILABLE OR NOT IN SUFFICIENT QUANTITIES AT TIME OF PLANTING, THE CONTRACTOR MAY SUBSTITUTE SPECIES UPON WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
- IRRIGATION TO BE PROVIDED FOR ALL PROPOSED PLANTINGS; CONTRACTOR TO COORDINATE INSTALLATION.
- LANDSCAPING SHALL BE SUBSTANTIALLY INSTALLED PRIOR TO THE ISSUANCE OF OCCUPANCY PERMIT FOR THE PRINCIPAL STRUCTURE ON LOT, WEATHER PERMITTING, OR, IN THE EVENT OF ADVERSE WEATHER CONDITIONS, WITHIN NINETY (90) DAYS FOLLOWING THE COMMENCEMENT OF THE NEXT SUCCESSIVE PLANTING SEASON FOLLOWING ISSUANCE OF OCCUPANCY PERMIT.
- ALL LANDSCAPE PLANTINGS TO BE MAINTAINED BY CONTRACTOR FOR 60 DAYS FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. MAINTENANCE TO INCLUDE WATERING, WEED REMOVAL, MULCHING, MOWING AND ALL OTHER NECESSARY OPERATIONS REQUIRED FOR PROPER ESTABLISHMENT OF PLANTINGS AND TURF AREAS.

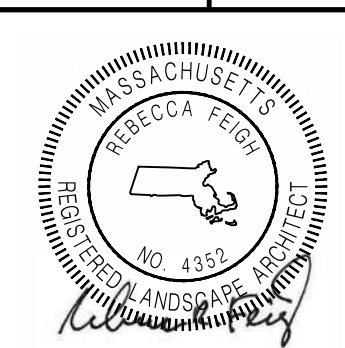
Civil & Environmental Consultants, Inc.
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**PARAGON DUNES
MIXED-USE REDEVELOPMENT
189 & 193 NANTASKET AVENUE &
0 GEORGE WASHINGTON BOULEVARD
HULL, MASSACHUSETTS**

LANDSCAPE PLAN OVERALL

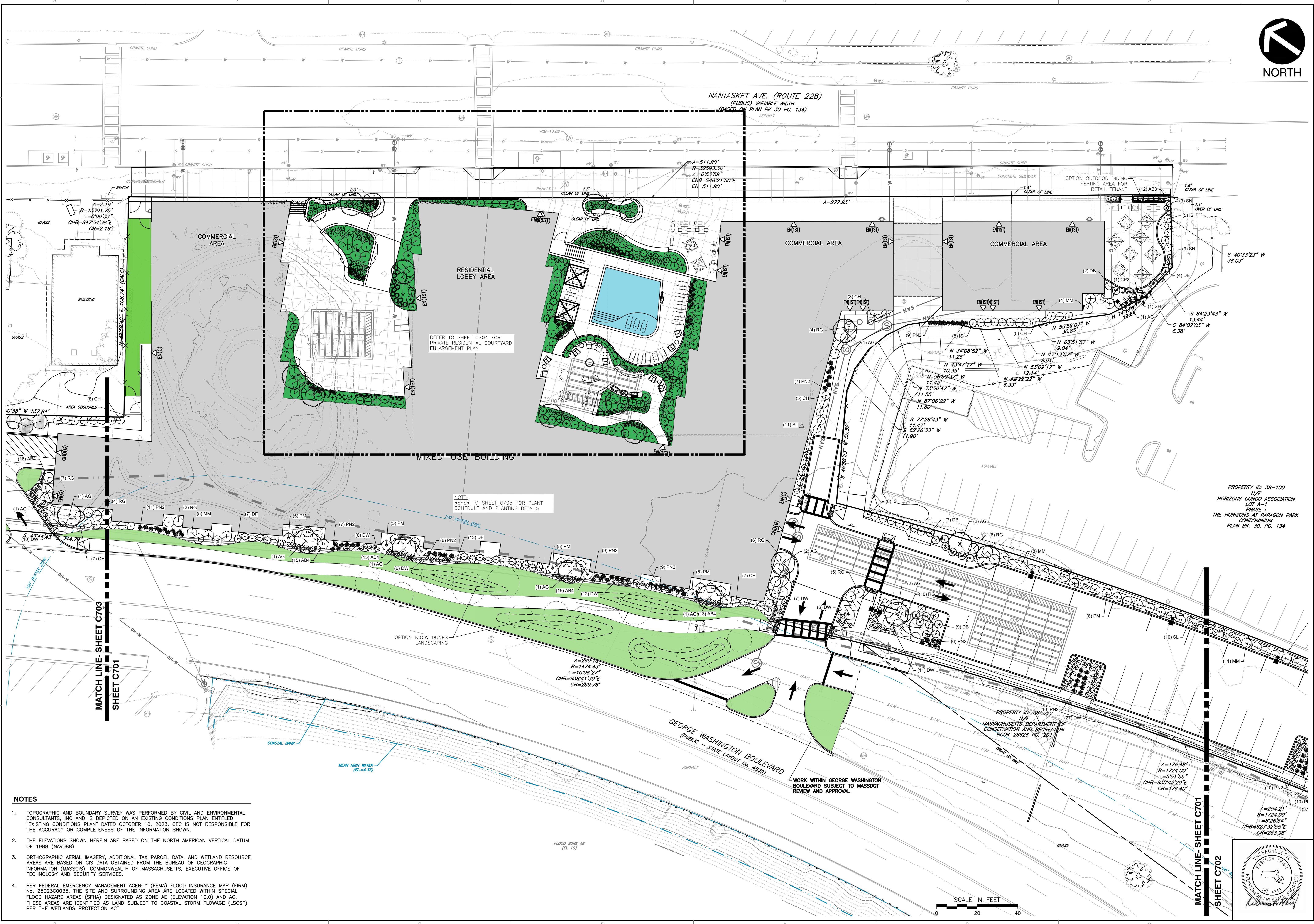
DATE: OCTOBER 10, 2025 | DRAWN BY: CJV
DWG SCALE: 1"=20' | CHECKED BY: KPS
PROJECT NO: 334-762
APPROVED BY: KPS

DRAWING NO: **C700**
SHEET 19 OF 27

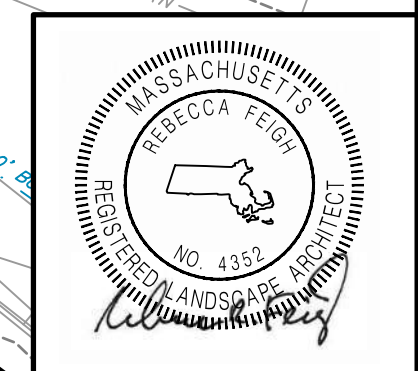


SCALE IN FEET
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- NOTES**
1. TOPOGRAPHIC AND BOUNDARY SURVEY WAS PERFORMED BY CIVIL AND ENVIRONMENTAL CONSULTANTS, INC. AND IS DEPICTED ON AN EXISTING CONDITIONS PLAN ENTITLED "EXISTING CONDITIONS PLAN" DATED OCTOBER 10, 2023. CEC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
 2. THE ELEVATIONS SHOWN HEREIN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 3. ORTHOGRAPHIC AERIAL IMAGERY, ADDITIONAL TAX PARCEL DATA, AND WETLAND RESOURCE AREAS ARE BASED ON GIS DATA OBTAINED FROM THE BUREAU OF GEOGRAPHIC INFORMATION (MASSGIS), COMMONWEALTH OF MASSACHUSETTS, EXECUTIVE OFFICE OF TECHNOLOGY AND SECURITY SERVICES.
 4. PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE MAP (FIRM) No. 25023C0035, THE SITE AND SURROUNDING AREA ARE LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS (SFHA) DESIGNATED AS ZONE AE (ELEVATION 10.0) AND AO. THESE AREAS ARE IDENTIFIED AS LAND SUBJECT TO COASTAL STORM FLOWAGE (LSCSF) PER THE WETLANDS PROTECTION ACT.



SUBMITTAL & REVISION RECORD

NO.	DATE	DESCRIPTION
1.	10/10/2023	PERMITTING SUBMISSION
2.	01/15/2024	RESPONSE TO PEER REVIEW COMMENTS

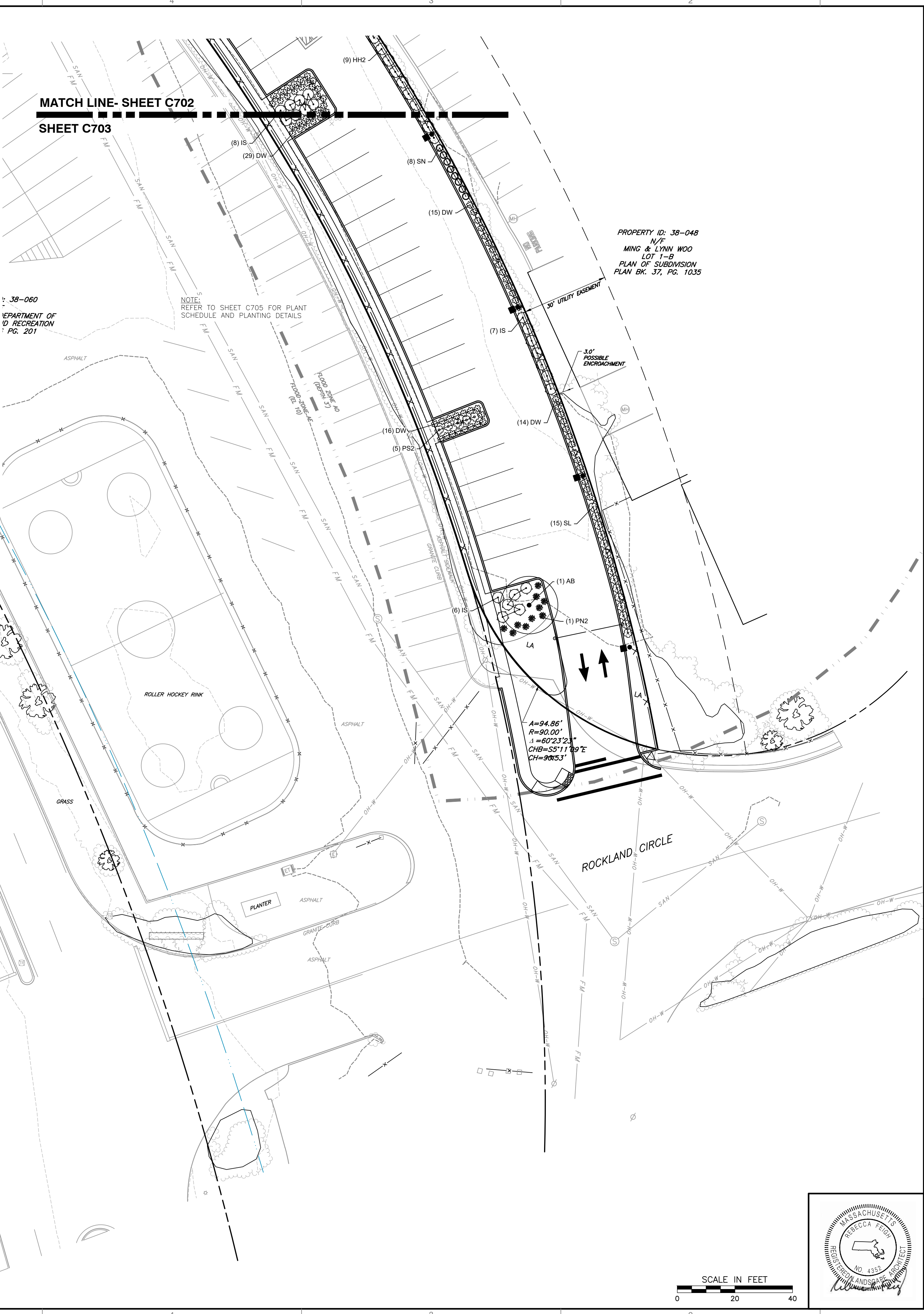
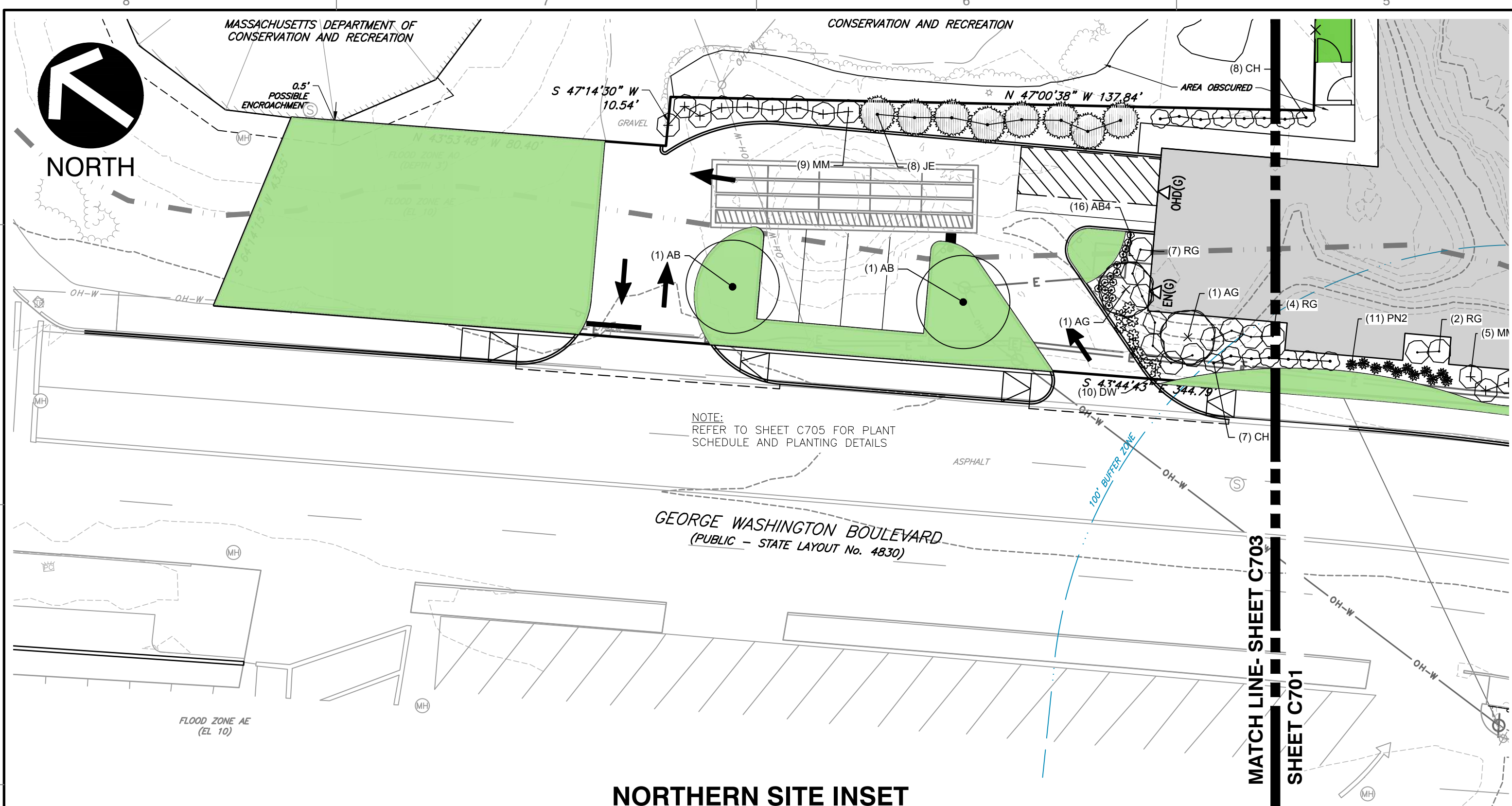
Civil & Environmental Consultants, Inc.
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**PARAGON DUNES
 MIXED-USE REDEVELOPMENT
 189 & 193 NANTASKET AVENUE &
 0 GEORGE WASHINGTON BOULEVARD
 HULL, MASSACHUSETTS**

LANDSCAPE PLAN

DRAWING NO. **C701**
 SHEET 20 OF 27

DATE: OCTOBER 10, 2023
 DWG SCALE: 1"=20'
 PROJECT NO: 334-762
 DRAWN BY: CJV
 CHECKED BY: KPS
 APPROVED BY: KPS



PLANTING SOIL PREPARATION NOTES:

- BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS, AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH.
- MIX SOIL AMENDMENTS AS SPECIFIED ON PLANTING DETAILS. MIX FERTILIZERS WITH TOPSOIL AT RATES INDICATED. DELAY MIXING FERTILIZER IF PLANTING DOES NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
- FOR TREE PIT OR TRENCH BACKFILL, MIX PLANTING SOIL BEFORE BACKFILLING AND STOCKPILE AT SITE.
PROVIDE SPECIFIED FERTILIZER AT A RATE OF:
SHADE TREE: 2 POUNDS PER INCH OF CALIPER
SMALL TREE: 1 POUND PER INCH OF CALIPER
- FOR PLANTING BEDS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.
APPLY SPECIFIED COMMERCIAL FERTILIZER AT RATES AND THOROUGHLY MIX INTO UPPER 2" OF TOPSOIL.
PROVIDE SPECIFIED FERTILIZER AT THE FOLLOWING RATES:
SHRUBS: 1/4 POUND PER FOOT HEIGHT OR SPREAD
EVERGREENS: 1/8 POUND PER FOOT HEIGHT OR SPREAD
HERBACEOUS PLANTS: 1/8 POUND PER PLANT.
- FOR PARKING LOT ISLANDS EXCAVATE MIN. 24" DEPTH TO REMOVE ALL CONSTRUCTION DEBRIS. BACKFILL WITH BLENDED MIX OF 80% TOPSOIL, 30% COMPOST AND 10% SAND MIX. COMPACT BACKFILL IN 8" LIFTS TO PREVENT SETTLING AFTER PLANT INSTALLATION.
- GROUND COVER AND PERENNIAL PLANT BED PREPARATION: TILL SOIL IN BEDS TO A MINIMUM DEPTH OF 8" AND MIX WITH SPECIFIED FERTILIZERS.
FERTILIZER AT A RATE OF 2 POUNDS PER 100 SQ.FT.
- FINAL GRADING AND PLACEMENT OF TOPSOIL FOR TURF & PLANTING AREAS:
A. LOOSEN SUBGRADE AND TURF AREAS TO A MINIMUM DEPTH OF 4" - 6". REMOVE STONES MEASURING OVER 1-1/2" IN ANY DIMENSION. REMOVE STICKS, ROOTS, RUBBISH AND OTHER EXTRANEUS MATTER. LIMIT PREPARATION TO AREAS WHICH WILL BE PLANTED PROMPTLY AFTER PREPARATION.
B. SPREAD TOPSOIL TO MINIMUM DEPTH REQUIRED TO MEET LINES, GRADES, AND ELEVATIONS SHOWN, AFTER LIGHT ROLLING AND NATURAL SETTLEMENT.
C. MINIMUM DEPTH OF TOPSOIL SHALL BE 4" UNLESS OTHERWISE INDICATED. IN TREE AND SHRUB PLANTING AREAS THERE SHALL BE 18"-24" TOPSOIL AROUND THE PLANT, AT LEAST IN AN AREA EQUAL TO THE PLANT'S MATURE CANOPY SIZE.
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NOTES

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SUBMITTAL & REVISION RECORD

NO	DATE	DESCRIPTION
1	10/10/2023	PERMITTING SUBMISSION
2	01/15/2024	RESPONSE TO PERM REVIEW COMMENTS

Civil & Environmental Consultants, Inc.
31 Bellows Road - Raynham, MA 02767
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PARAGON DUNES MIXED-USE REDEVELOPMENT
189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD
HULL, MASSACHUSETTS

LANDSCAPE PLAN

DATE: OCTOBER 10, 2023
DRAWN BY: CJV
DWG SCALE: 1"=20'
PROJECT NO: 334-762
APPROVED BY: KPS

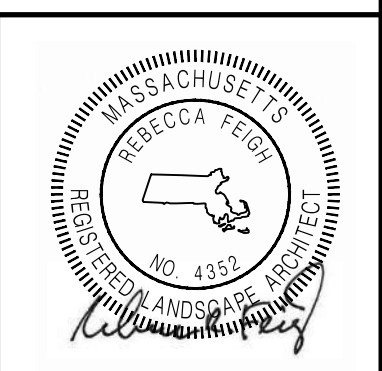
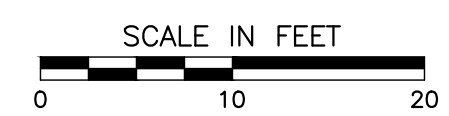
DRAWING NO: **C703**
SHEET 22 OF 27



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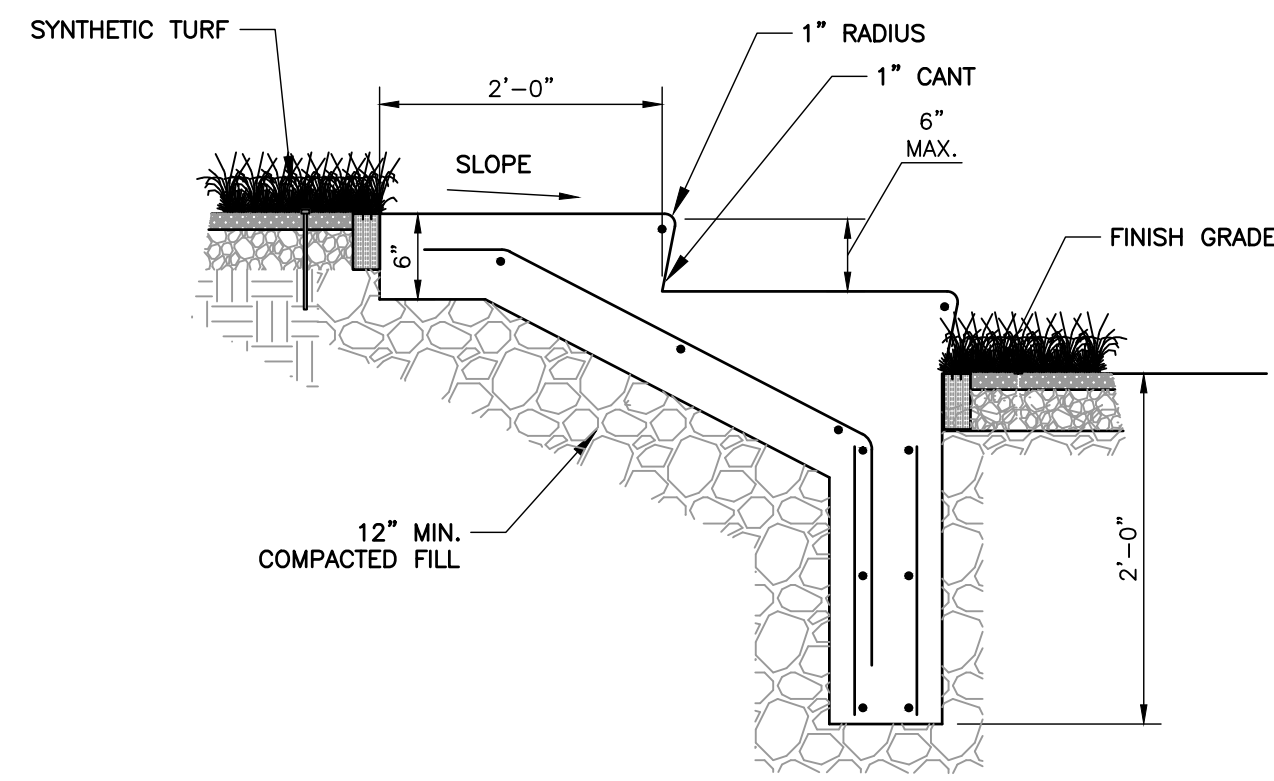
**PARAGON DUNES
 MIXED-USE REDEVELOPMENT
 189 & 193 NANTASKET AVENUE &
 0 GEORGE WASHINGTON BOULEVARD
 HULL, MASSACHUSETTS**

LANDSCAPE ENLARGEMENT PLAN

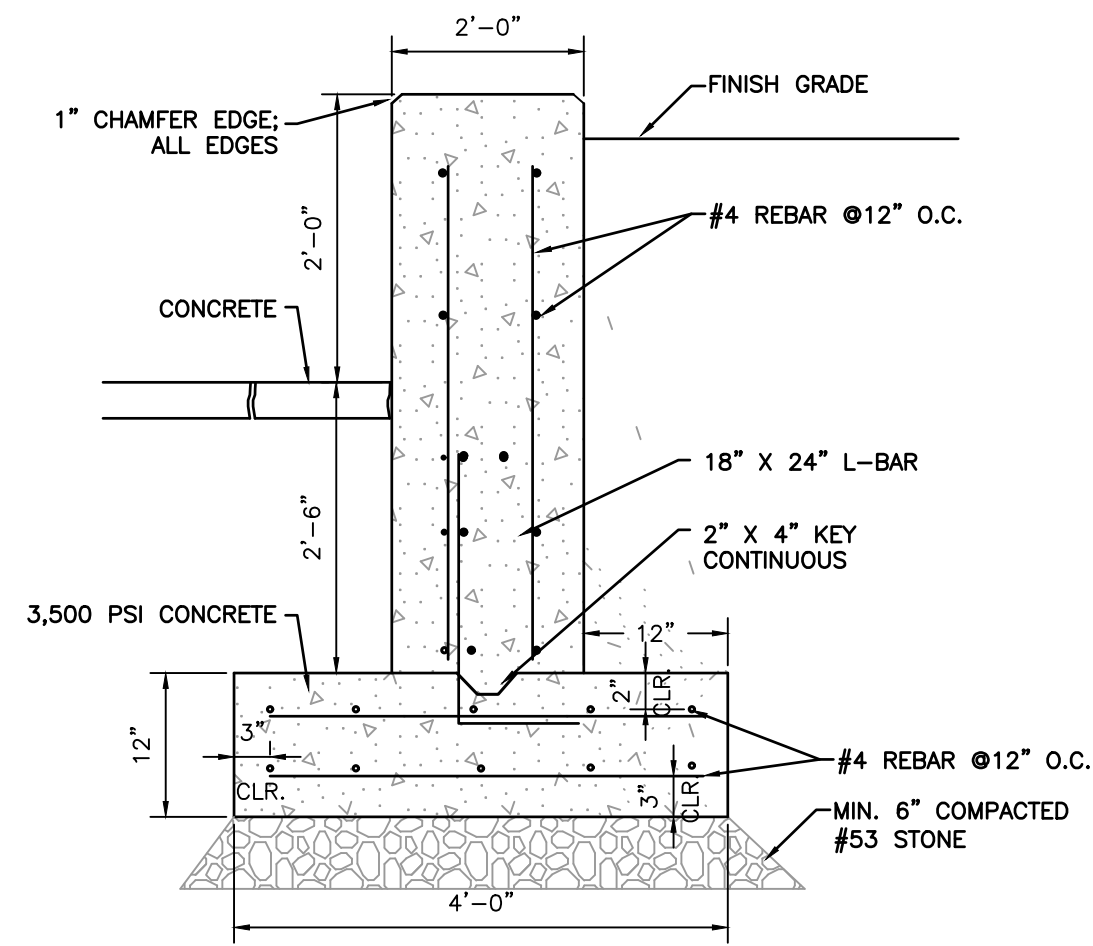
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 DWG SCALE: 1"=20' | CHECKED BY: KPS | PROJECT NO: 334-762
 SHEET 23 OF 27

C704

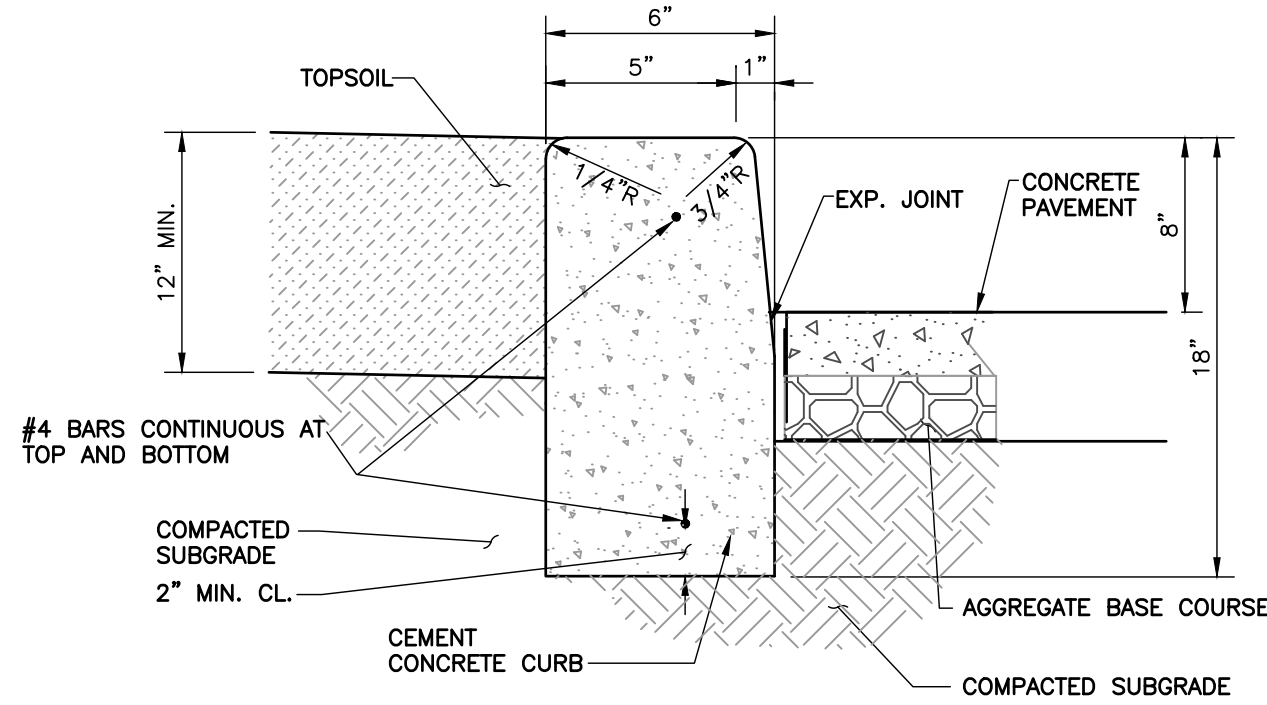
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DETAIL - CONCRETE LAWN STEPS
NOT TO SCALE

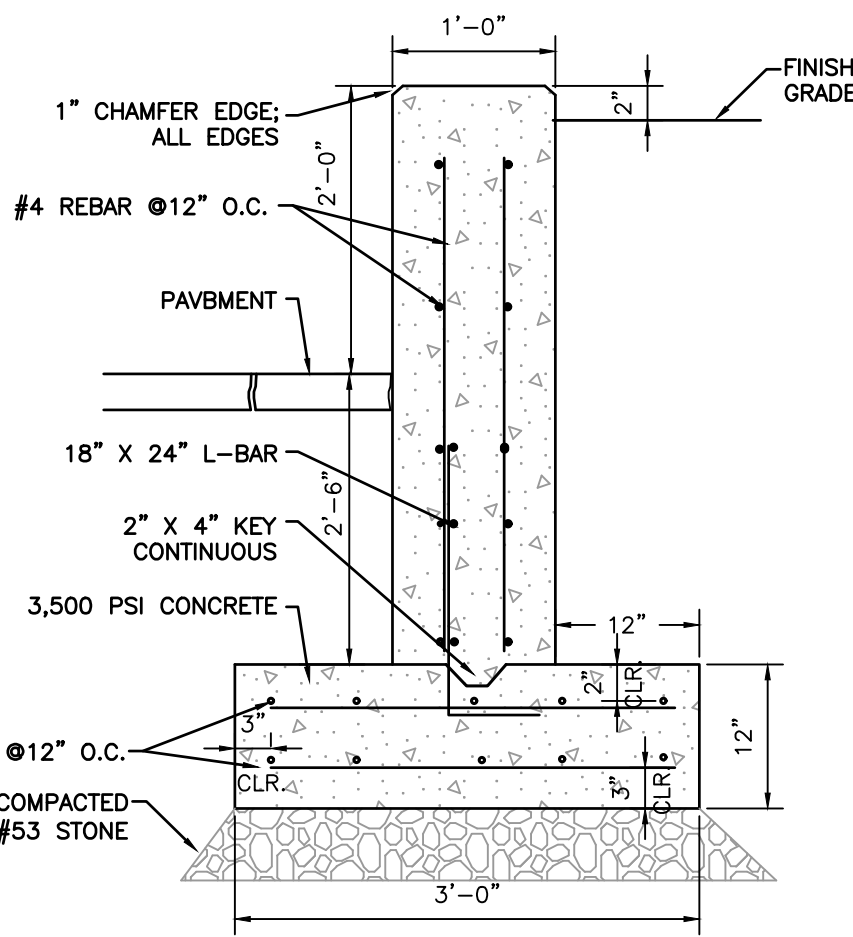


DETAIL - CONCRETE SEATWALL DETAIL
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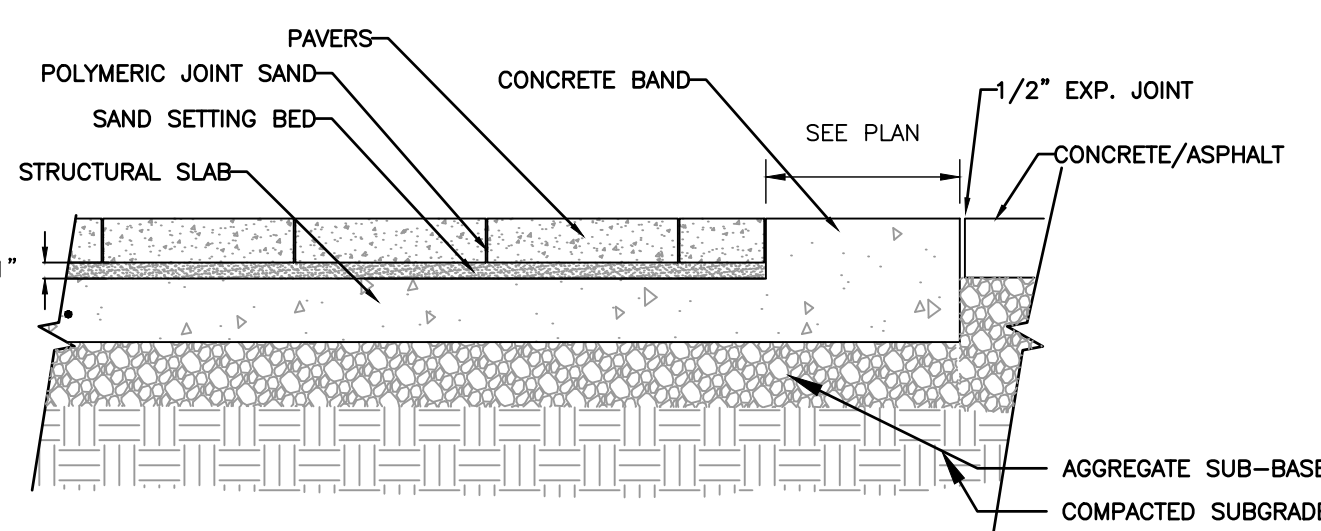


**DETAIL - 6" RAISED CONCRETE CURB
PLANTER DETAIL**
NOT TO SCALE

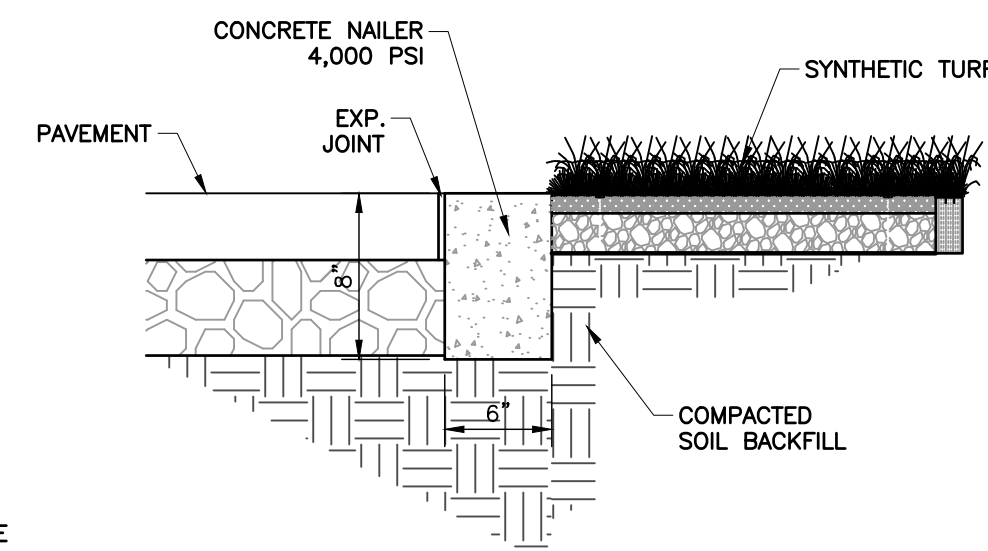
- NOTES:**
1. PROVIDE 1/2" PREMOULDED EXPANSION JOINT FILLER WITH SEALANT AT MAXIMUM INTERVALS OF 20' ON-CENTER.
 2. BITUMINOUS SEALANT SHALL BE ASPHALT CEMENT, CLASS AC-20.



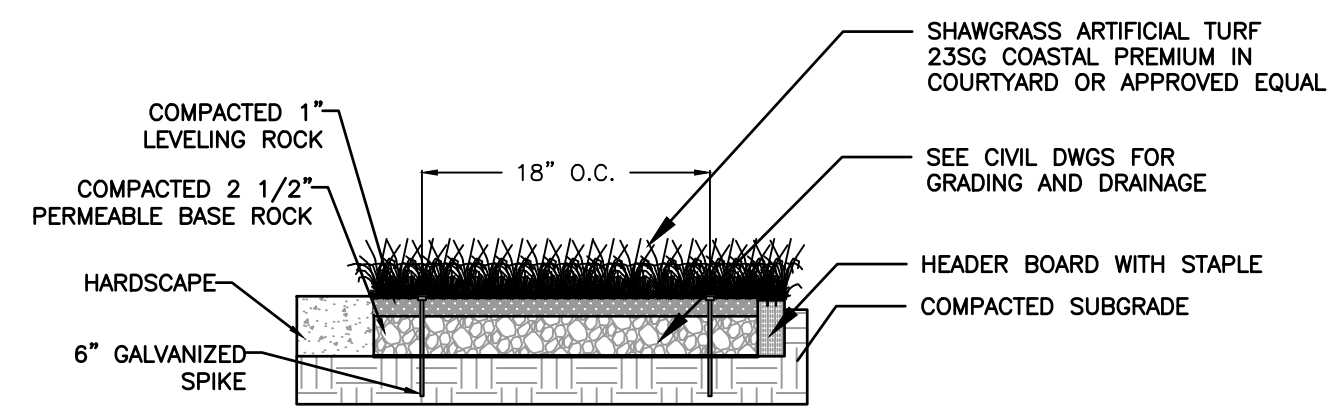
DETAIL - CONCRETE WALL DETAIL
NOT TO SCALE



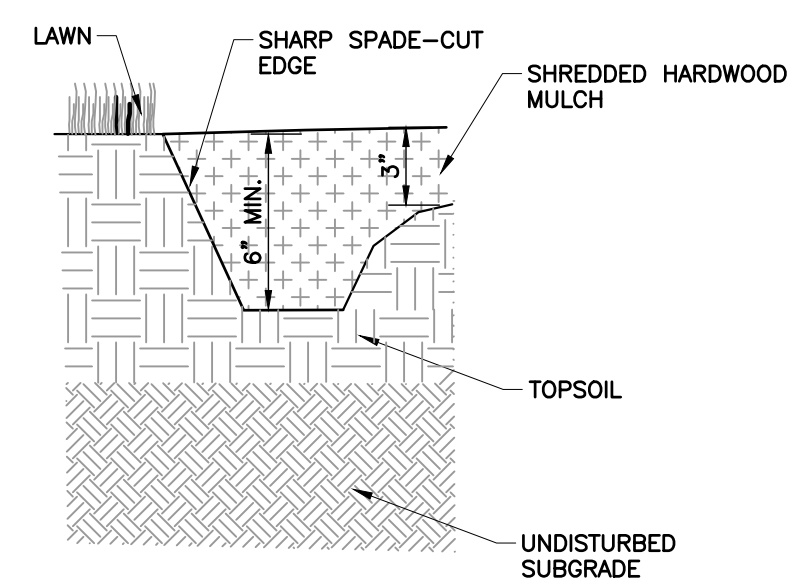
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DETAIL - PAVER DETAIL
NOT TO SCALE



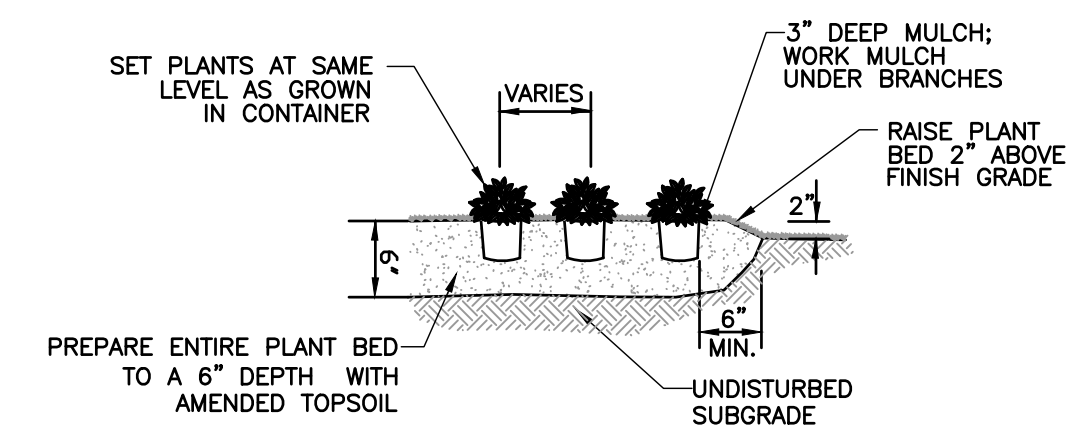
DETAIL - CONCRETE CURB DETAIL
NOT TO SCALE



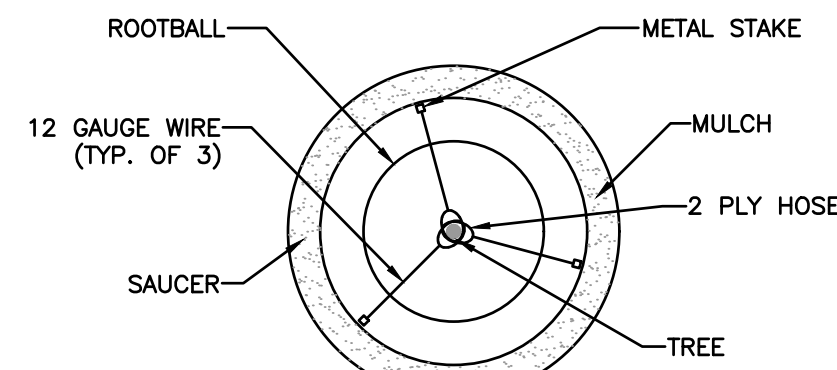
**DETAIL
SYNTHETIC TURF**
N.T.S.



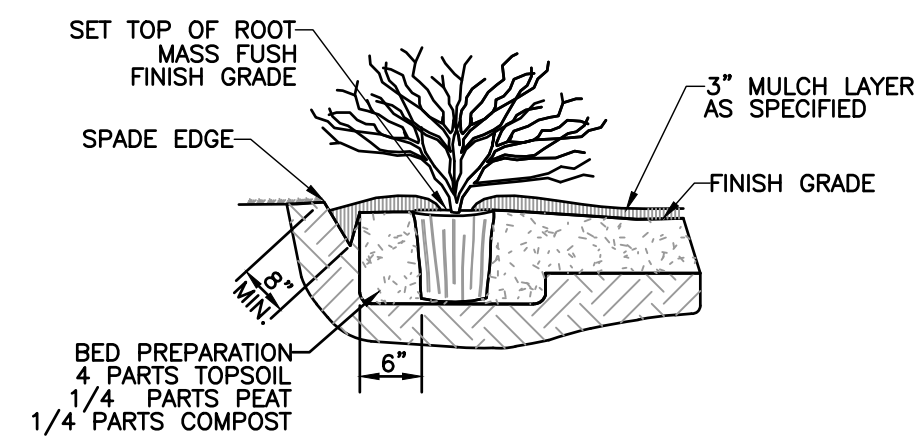
DETAIL 704 - SPADE EDGING DETAIL
NOT TO SCALE



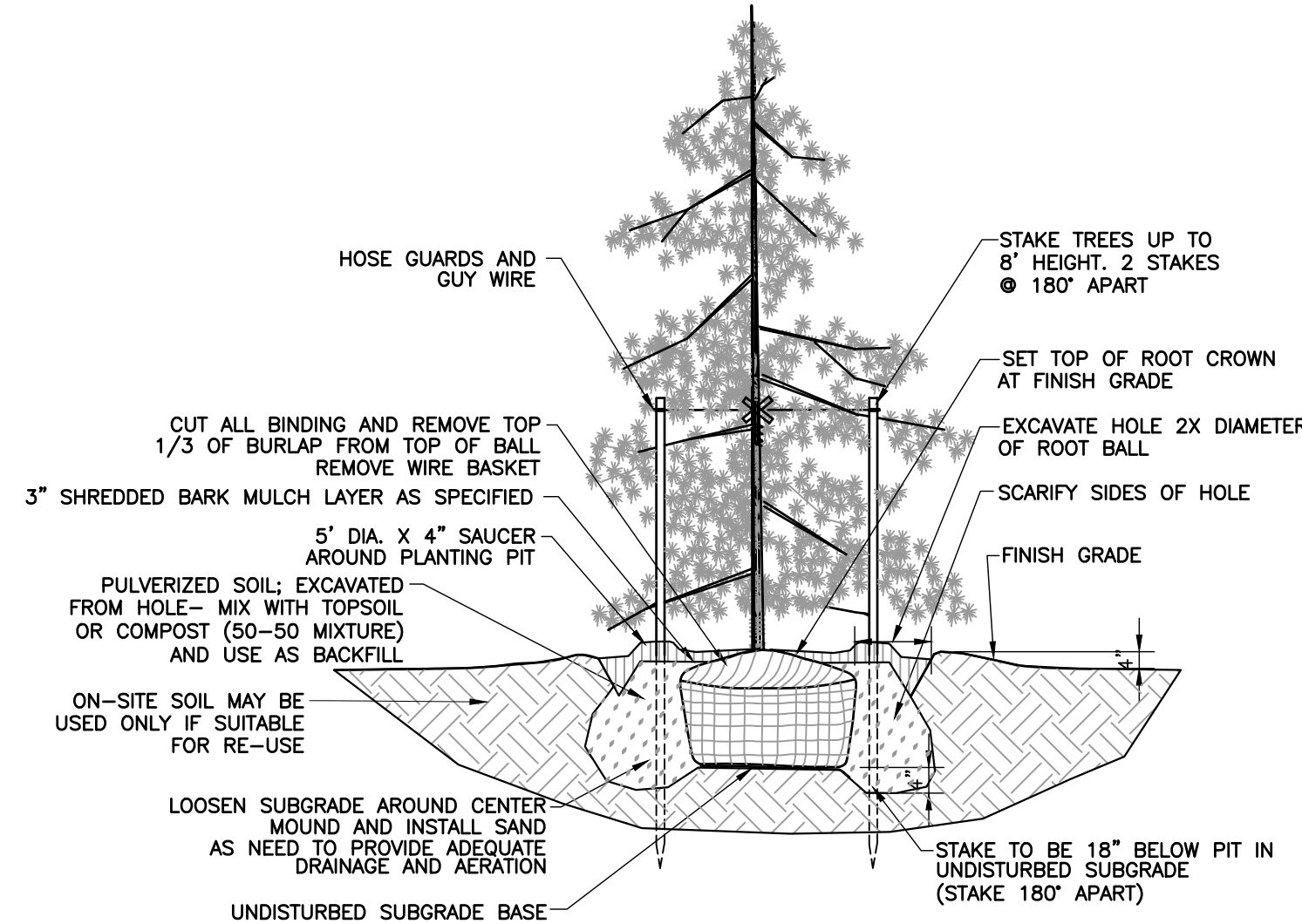
DETAIL 700 - SHADE TREE PLANTING DETAIL
NOT TO SCALE



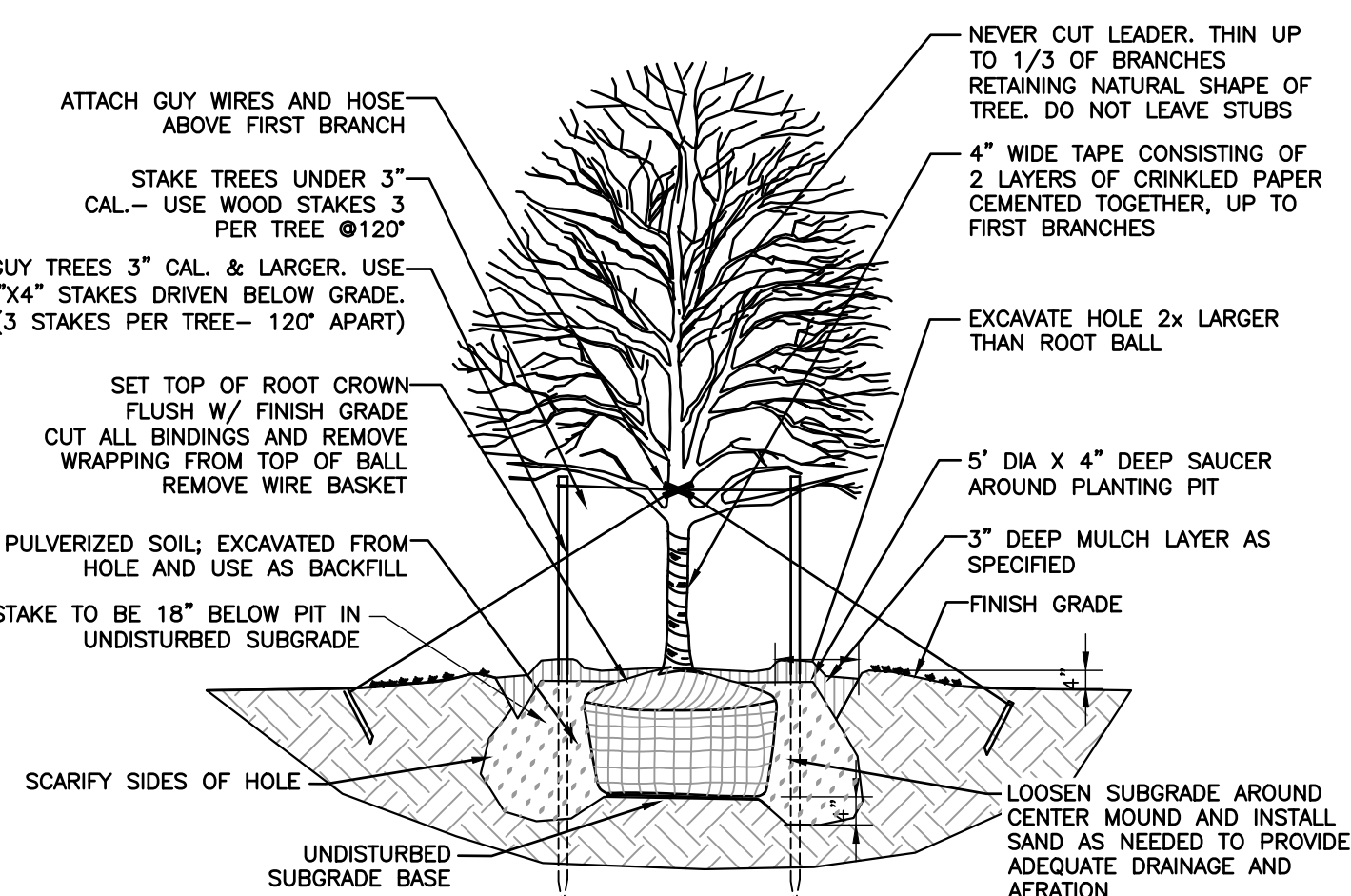
DETAIL 703 - TREE STAKING DETAIL
NOT TO SCALE



DETAIL 702 - SHRUB PLANTING DETAIL
NOT TO SCALE



DETAIL 701 - EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



DETAIL 700 - SHADE TREE PLANTING DETAIL
NOT TO SCALE

PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SIZE
TREES						
AB	3	ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE	B&B	2.5" CAL.		
AG	29	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE APPLE SERVICEBERRY	B&B	CLUMP FORM	6' - 8' HT	
BG+	1	BETULA NIGRA 'CULLY IMPROVED' HERITAGE® IMPROVED RIVER BIRCH MULTI-TRUNK	B&B	2.5" CAL.		
JE	8	JUNIPERUS VIRGINIANA EASTERN REDCEDAR	B&B		5' - 6' HT.	
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPACING
SHRUBS						
AN	30	AMMOPHILA BREVILIGULATA 'CAPE' CAPE AMERICAN BEACHGRASS	2 GAL.		2.0' O.C.	
AB4	74	AMSONIA TABERNAEMONTANA 'BLUE ICE' BLUE ICE EASTERN BLUESTAR	1 GAL.		12" O.C.	
CP2	64	CAREX PLATYPHYLLA BROADLEAF SEDGE	2 GAL.		2.0' O.C.	
CH	72	CLETHRA ALNIFOLIA 'HUMMINGBIRD' HUMMINGBIRD SUMMERSWEET	3 GAL.		18"-24" HT.	
DB	30	DASIPHORA FRUTICOSA 'ABBOTSWOOD' ABBOTSWOOD BUSH CINQUEFOIL	3 GAL.		18"-24" HT.	
DF	40	DASIPHORA FRUTICOSA 'PRIMROSE BEAUTY' PRIMROSE BEAUTY BUSH CINQUEFOIL	3 GAL.		18"-24" HT.	
DW	391	DESCHAMPSIA FLEXUOSA WAVY HAIR GRASS	2 GAL.		2.0' O.C.	
HH	26	HEMEROCALLIS X 'HAPPY RETURNS' HAPPY RETURNS DAYLILY	1 GAL.		12" O.C.	
HH3	19	HYDRANGEA MACROPHYLLA 'HORTMABLO' SEASIDE SERENADE® CAPE LOOKOUT HYDRANGEA	3 GAL.		18"-24" HT.	
HY	5	HYDRANGEA MACROPHYLLA 'HORTMAN' SEASIDE SERENADE® NEWPORT HYDRANGEA	3 GAL.		18"-24" HT.	
HL2	17	HYDRANGEA MACROPHYLLA 'HORTMAN' SEASIDE SERENADE® MARTHA'S VINEYARD HYDRANGEA	3 GAL.		18"-24" HT.	
HH2	27	HYPERICUM PATULUM 'HIDCOTE' HIDCOTE ST. JOHN'S WORT	3 GAL.		18"-24" HT.	
IS	105	ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY HOLLY	5 GAL.		24" HT.	
MM	46	MYRICA PENNSYLVANICA 'MORTON' SILVER SPRITE BAYBERRY	5 GAL.		24" HT.	
PN2	124	PANICUM VIRGATUM 'NORTHWIND' NORTHWIND SWITCH GRASS	2 GAL.		2.5' O.C.	
PS2	48	PANICUM VIRGATUM 'SHENANDOAH' SHENANDOAH SWITCH GRASS	2 GAL.		2.5' O.C.	
PM	50	PRUNUS MARITIMA BEACH PLUM	5 GAL.		24" HT.	
RG	68	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	5 GAL.		18"-24" HT.	
RV	30	ROSA VIRGINIANA VIRGINIA ROSE	3 GAL.		18"-24" HT.	
SL	52	SCHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM	2 GAL.		3' O.C.	
SN	33	SORGHASTRUM NUTANS INDIAN GRASS	2 GAL.		2.0' O.C.	
SH	68	SPOROBOLUS HETEROLEPIS PRAIRIE DROPSSEED	2 GAL.		1.5' O.C.	

LANDSCAPE DETAILS

PARAGON DUNES
MIXED-USE REDEVELOPMENT
189 & 193 NANTASKET AVENUE &
0 GEORGE WASHINGTON BOULEVARD
HULL, MASSACHUSETTS

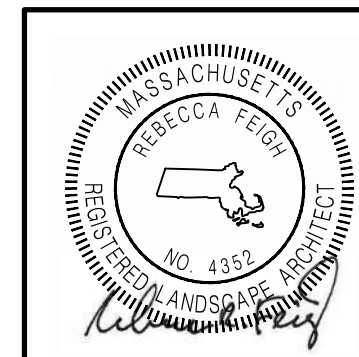
Civil & Environmental Consultants, Inc.
31 Bellows Road - Raynham, MA 02767
Ph: 774.501.2176 - 866.312.2024 - Fax: 774.501.2669
www.cecinc.com

SUBMITTAL & REVISION RECORD

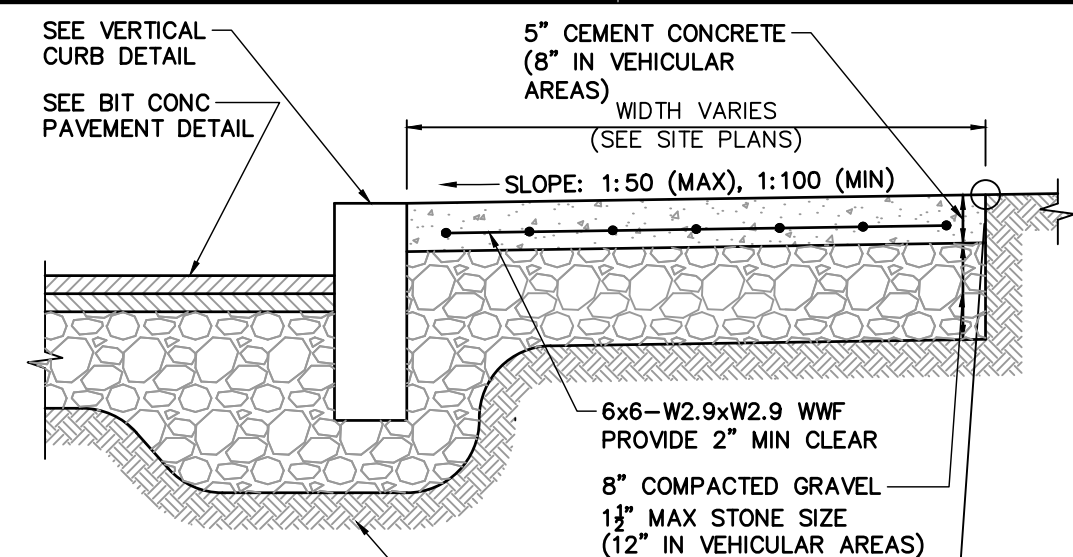
NO.	DATE	DESCRIPTION
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2	01/13/2024	RESPONSE TO PER REVIEW COMMENTS

DRAWING NO.:
C705

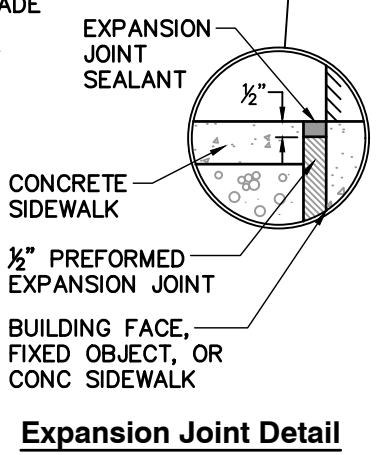
SHEET 24 OF 27



A:\130-0001\130-762-7621-0000\DWG\DWG\130762-001-C705.dwg(10/10/2023 15:13:21) - R:\mhw - 10/13/2024 2:22 PM



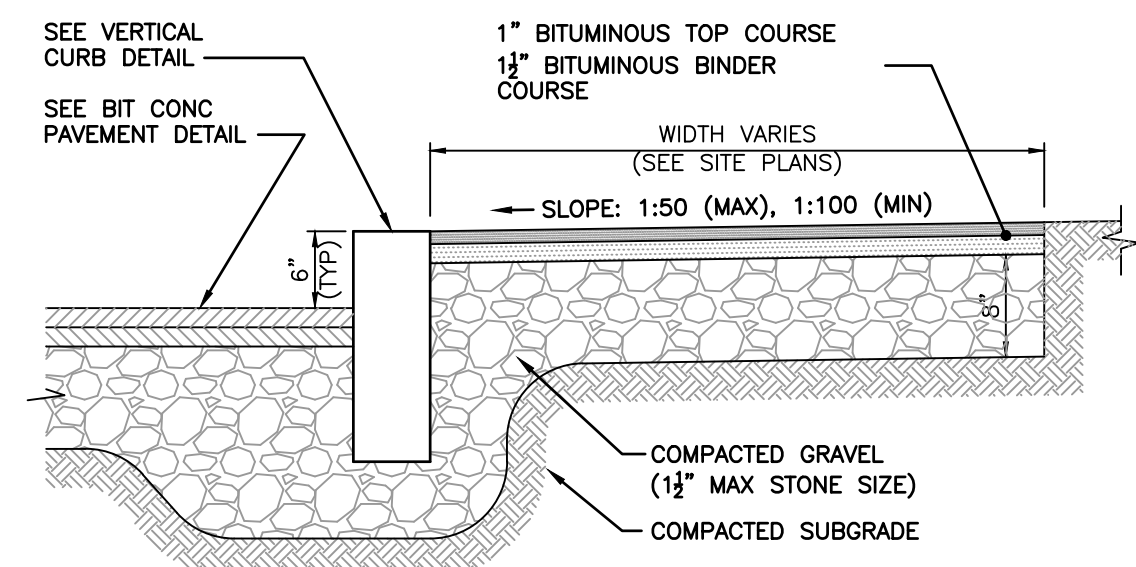
- NOTES:**
1. CEMENT CONCRETE SHALL BE 4,000 PSI-TYPE II.
 2. PROVIDE EXPANSION JOINTS AT A MINIMUM 30 FEET ON-CENTER WITH PRE-FORMED EXPANSION JOINT FILLER AND SEALER.
 3. PROVIDE TOOLED CONTROL JOINTS AT A MINIMUM SIX (6) FEET ON-CENTER.
 4. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
 5. FOR ACCESSIBLE ROUTES, SIDEWALKS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN.
 6. FOR ACCESSIBLE ROUTES, THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:50 OR LESS THAN 1:100.
 7. FOR ACCESSIBLE ROUTES, WHERE THE SIDEWALK IS LESS THAN FIVE (5) FEET IN WIDTH, EXCLUDING CURBING, A 5' X 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 8. FOR ACCESSIBLE ROUTES, A MINIMUM CLEARANCE OF THREE (3) FEET SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE; HYDRANTS, UTILITY POLES, SIGN POSTS, ETC.



Expansion Joint Detail

CONCRETE SIDEWALK

N.T.S.

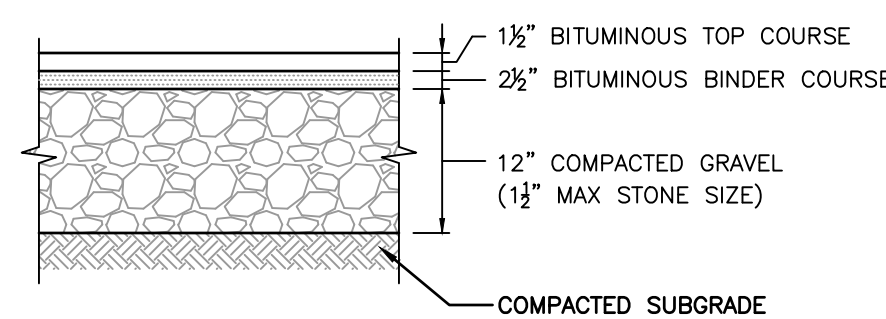


CONSTRUCTION NOTES

1. FOR ACCESSIBLE ROUTES, SIDEWALKS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) RULES AND REGULATIONS (521 CMR).
2. FOR ACCESSIBLE ROUTES, THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:50 OR LESS THAN 1:100.
3. FOR ACCESSIBLE ROUTES, WHERE THE SIDEWALK IS LESS THAN FIVE (5) FEET IN WIDTH, EXCLUDING CURBING, A 5' X 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
4. FOR ACCESSIBLE ROUTES, A MINIMUM CLEARANCE OF THREE (3) FEET SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE; HYDRANTS, UTILITY POLES, SIGN POSTS, ETC.

BITUMINOUS CONCRETE SIDEWALK

N.T.S.



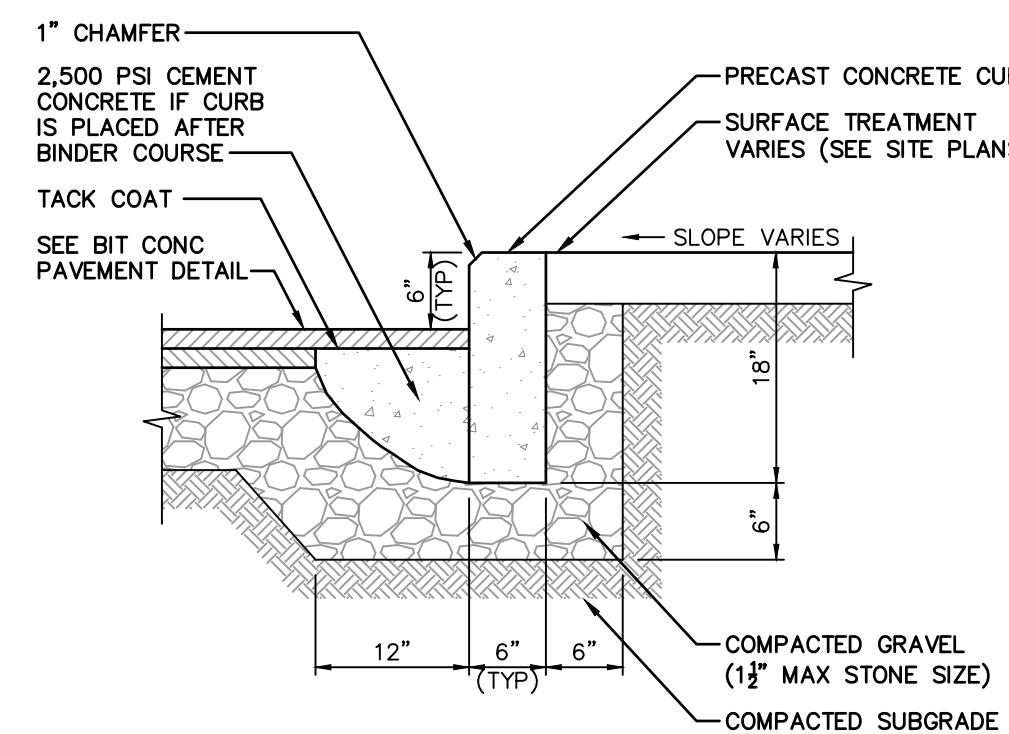
STANDARD DUTY FLEXIBLE PAVEMENT

CONSTRUCTION NOTES

1. PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

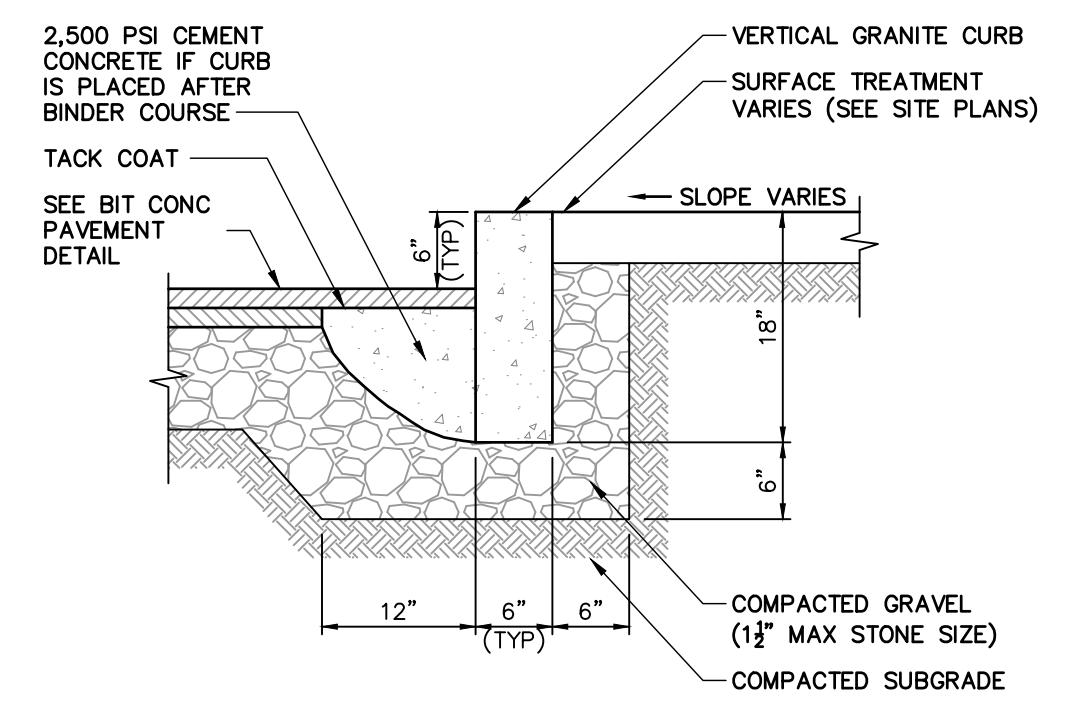
BITUMINOUS CONCRETE PAVEMENT

N.T.S.



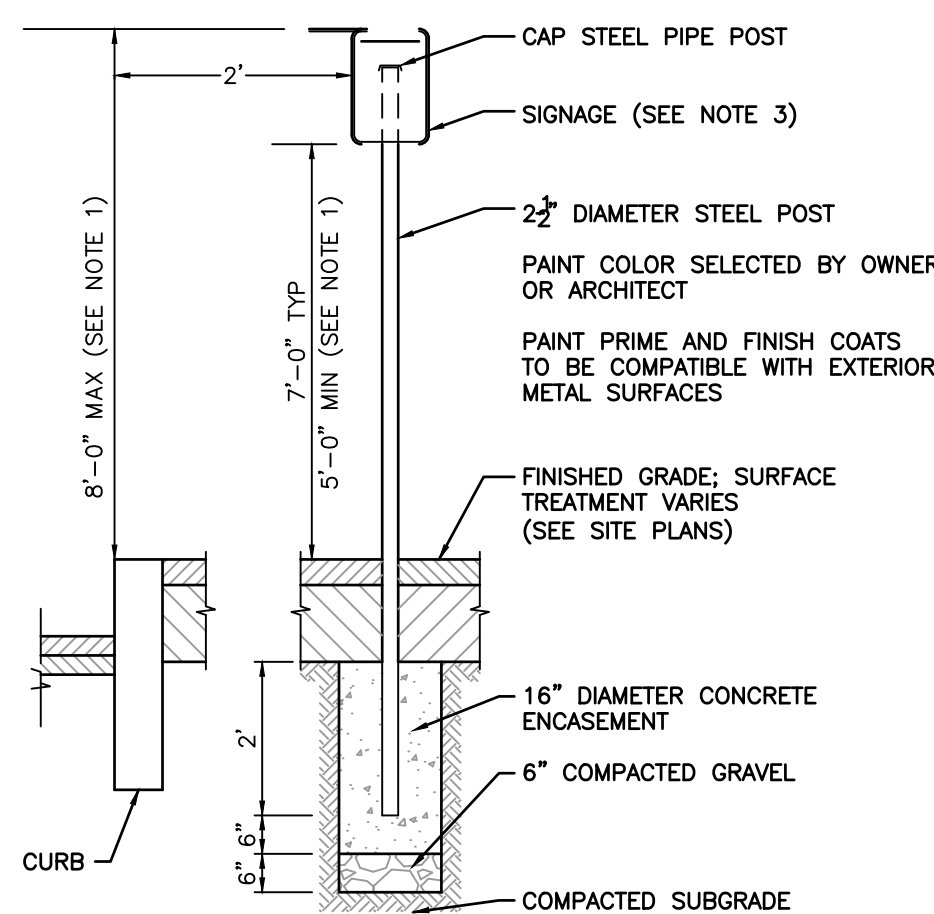
PRECAST CONCRETE CURB

N.T.S.



VERTICAL GRANITE CURB

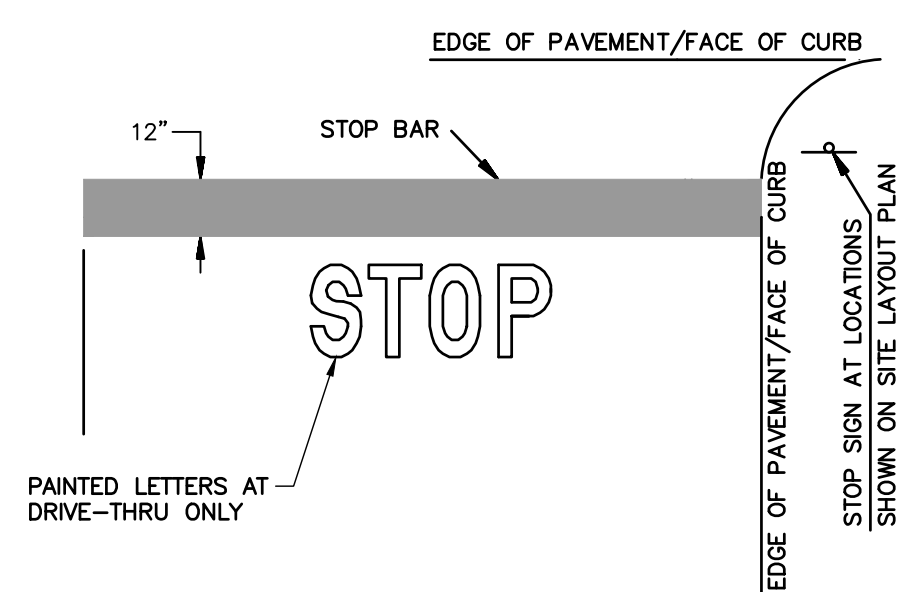
N.T.S.



- CONSTRUCTION NOTES**
1. FOR ACCESSIBLE SIGNAGE, DIMENSION SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) RULES AND REGULATIONS (521 CMR).
 2. SIGNS AND POSTS SHALL BE PER TOWN OF HULL STANDARDS IF THE STANDARDS DIFFER FROM THE DETAIL DEPICTED HEREON.
 3. SIGNAGE SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).

SIGN POST

N.T.S.

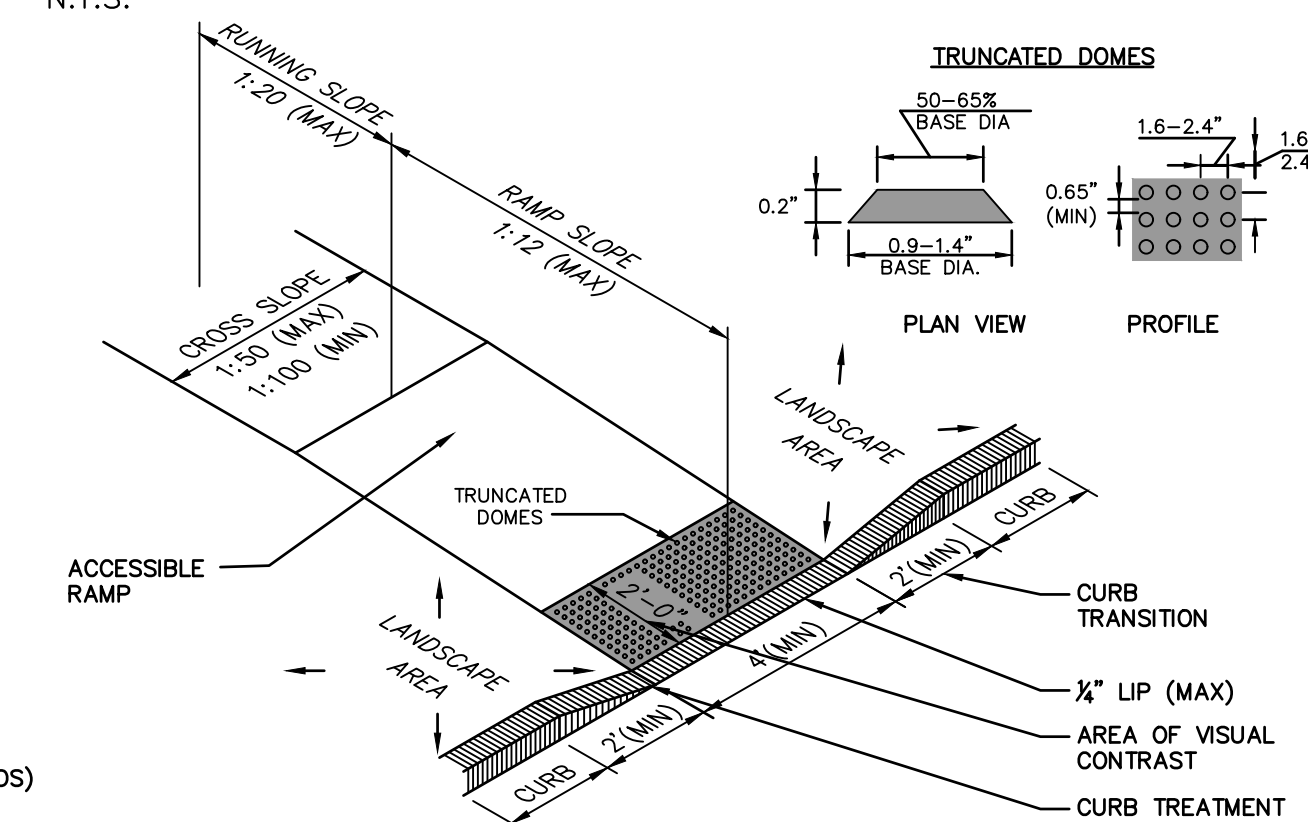


CONSTRUCTION NOTES:

1. SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 36". SIGN PANELS SHALL BE 0.100 ALUMINUM WITH RAISED OR SILKSCREEN COPY.
2. FOR POST MOUNTING, USE NON-CORROSIVE 3/8" 2. MACHINE BOLTS W/ WASHERS, 2 PER SIGN; OR IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
3. FOR WALL MOUNTING, USE NON-CORROSIVE 3/8" LAG BOLTS W/ LEAD EXPANSION SHIELD, 4 PER SIGN.
4. ALL TRAFFIC CONTROL SIGNS, SIGN POSTS, AND SIGN HARDWARE SHALL SATISFY THE REQUIREMENTS OF MASS DOT STANDARD SPECIFICATIONS.
5. ALL ACCESSIBLE PARKING SIGNAGE IS TO BE INSTALLED WITH THE BOTTOM EDGE OF THE LOWEST SIGN AT LEAST 60" ABOVE FINISHED GRADE.
6. FINE AMOUNT SHALL BE DISPLAYED IN ACCORDANCE WITH LOCAL LAW. THE AMOUNT SHOWN HEREON IS REPRESENTATIVE ONLY. COORDINATE POSTING OF FINE AMOUNT WITH LOCAL LAW ENFORCEMENT AGENCY.
7. STOP BAR MUST BE PAINTED WHITE.

SIGNS

N.T.S.

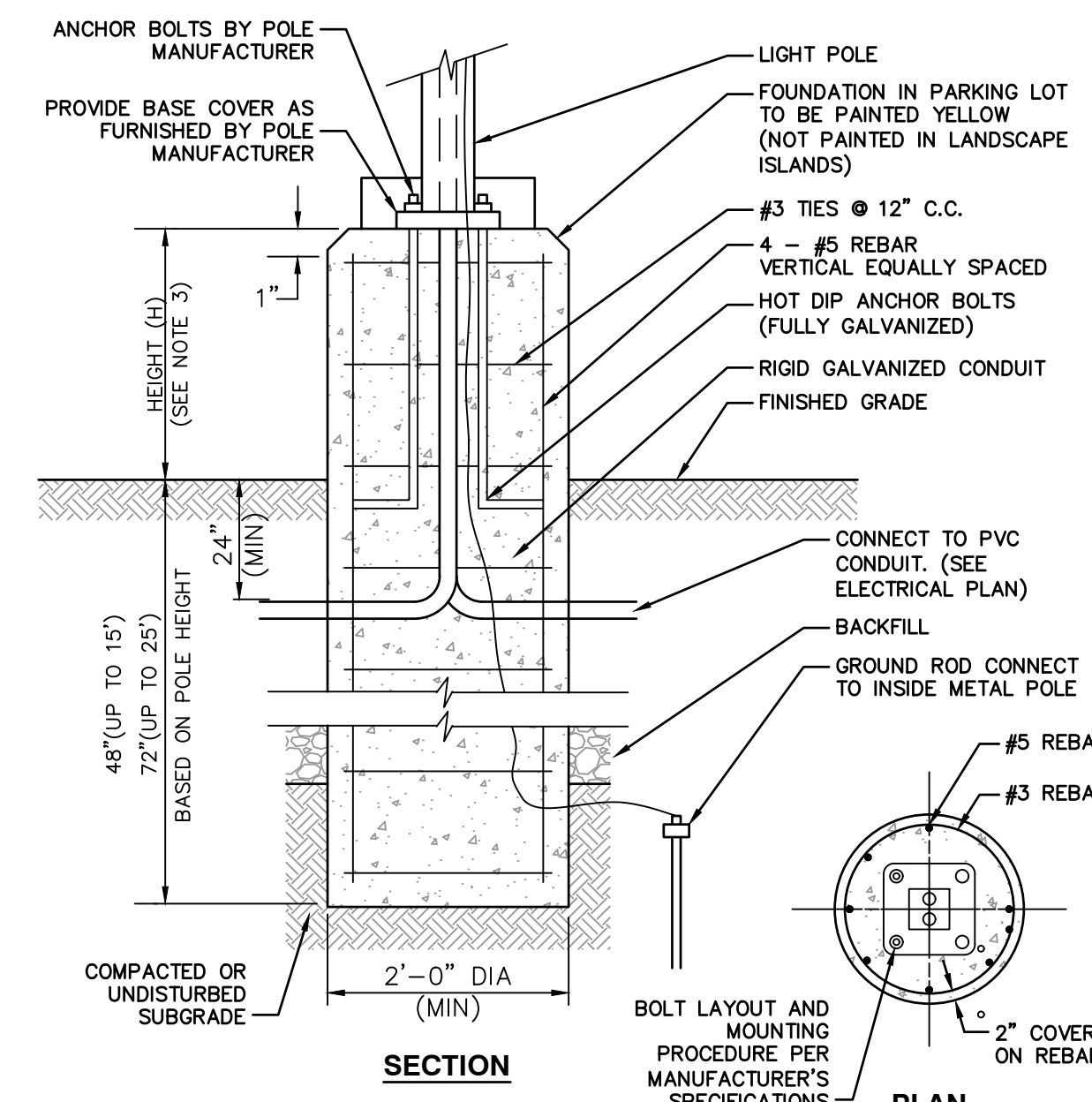


NOTES

1. CURB RAMPS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) RULES AND REGULATIONS (521 CMR).
2. THE RUNNING SLOPE OF CURB RAMPS SHALL NOT BE GREATER THAN 1:12. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:20. THE CROSS SLOPE OF CURB RAMPS AND WALKING SURFACES SHALL NOT BE GREATER THAN 1:50 OR LESS THAN 1:100.
3. LANDINGS SHALL BE PROVIDED AT THE TOPS OF CURB RAMPS. THE LANDING CLEAR LENGTH SHALL BE 36 INCHES (3 FEET) MINIMUM. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING.
4. COUNTER SLOPES OF ADJOINING SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20.
5. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES AND BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

ACCESSIBLE CURB RAMP (TYPE "E")

N.T.S.



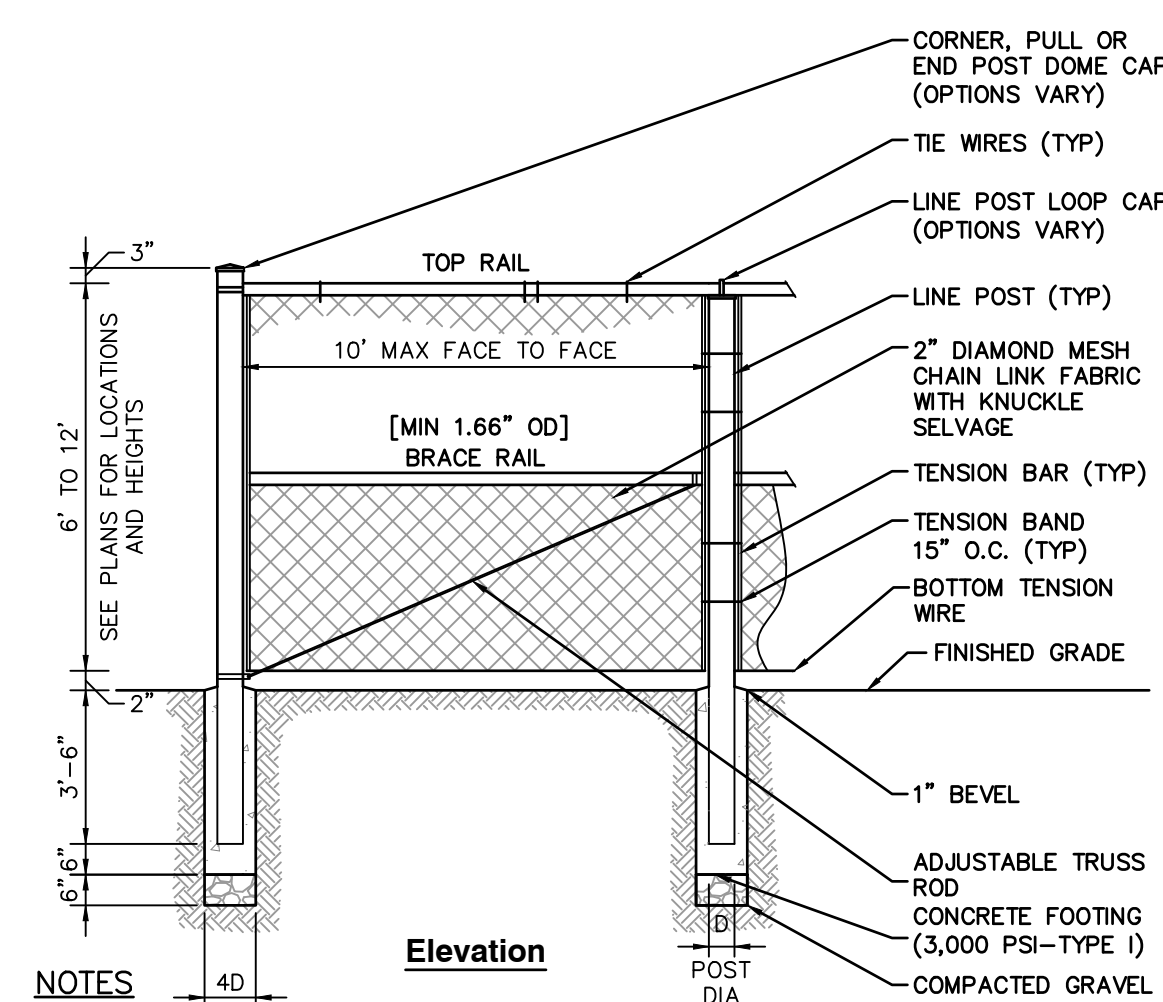
LIGHTPOLE FOUNDATION DETAIL

N.T.S.

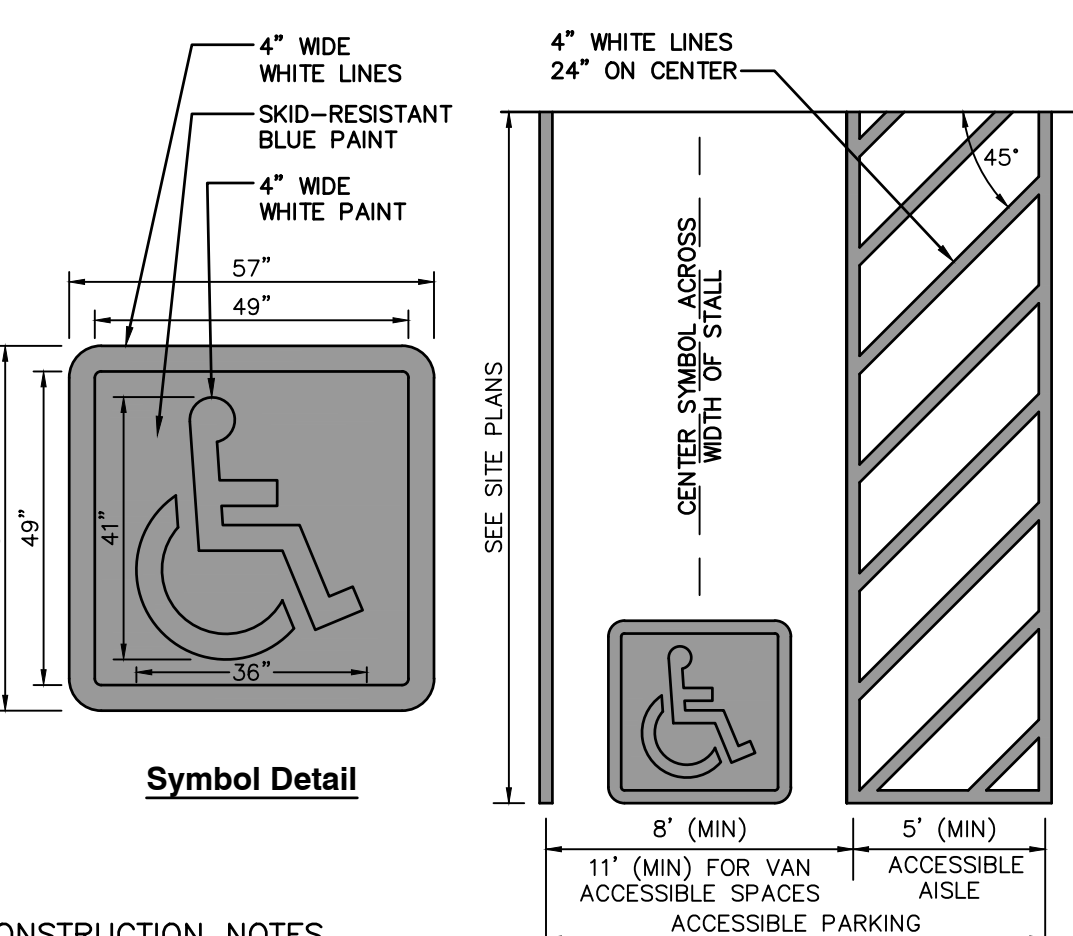
- CONSTRUCTION NOTES**
1. LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE HEIGHT AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATIONS.
 2. LIGHT POLE FOUNDATION TO BE PRECAST CONCRETE, MINIMUM 4,000 PSI. UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC.
 3. HEIGHT (H) OF FOUNDATION ABOVE FINISHED GRADE TO BE 6 INCHES IN LANDSCAPED AREAS, 30 INCHES IN VEHICULAR AREAS, AND FLUSH IN SIDEWALKS.

6-12" CHAIN LINK FENCE

N.T.S.



- NOTES**
1. FENCE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND THE CHAIN LINK FENCE MANUFACTURERS INSTITUTE PRODUCT MANUAL.
 2. POSTS SHALL MAINTAIN A MINIMUM DEPTH OF 3'-6" IN GROUND AND SHALL NOT BE RACKED TO ACCOMMODATE CHANGES IN GRADE.
 3. LINE OF FENCE, TOP AND BOTTOM, SHALL BE INSTALLED STRAIGHT AND TRUE. POSTS SHALL BE INSTALLED PARALLEL AND PLUMB. RAILS SHALL BE INSTALLED PARALLEL TO GROUND SURFACE AND EACH OTHER.



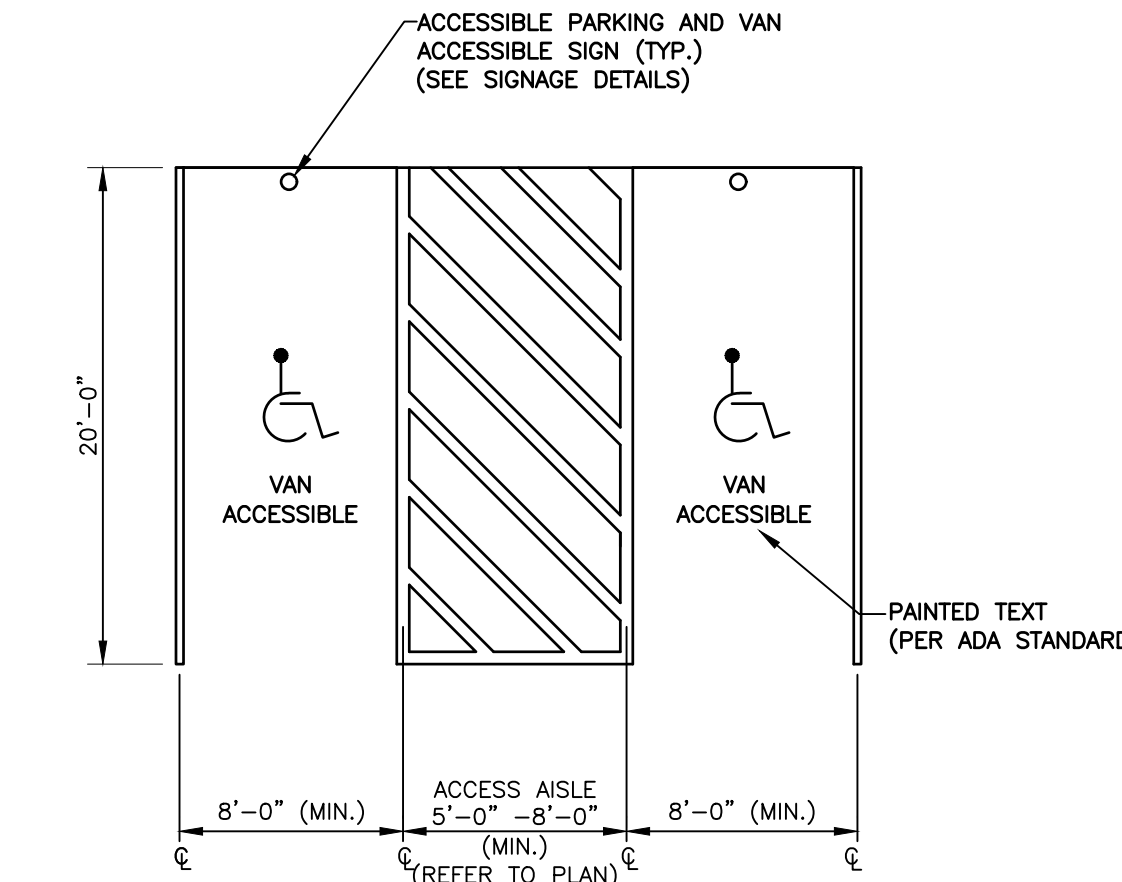
Symbol Detail

CONSTRUCTION NOTES

1. ACCESSIBLE PARKING SPACE SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN.
2. ACCESSIBLE SYMBOL SHALL COMPLY WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS DEPICTED IN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FIGURE 3B-19.
3. STRIPING SHALL BE 4" WIDE SOLID WHITE PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
4. SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1:50 (2.0%).

ACCESSIBLE PARKING SPACE

N.T.S.

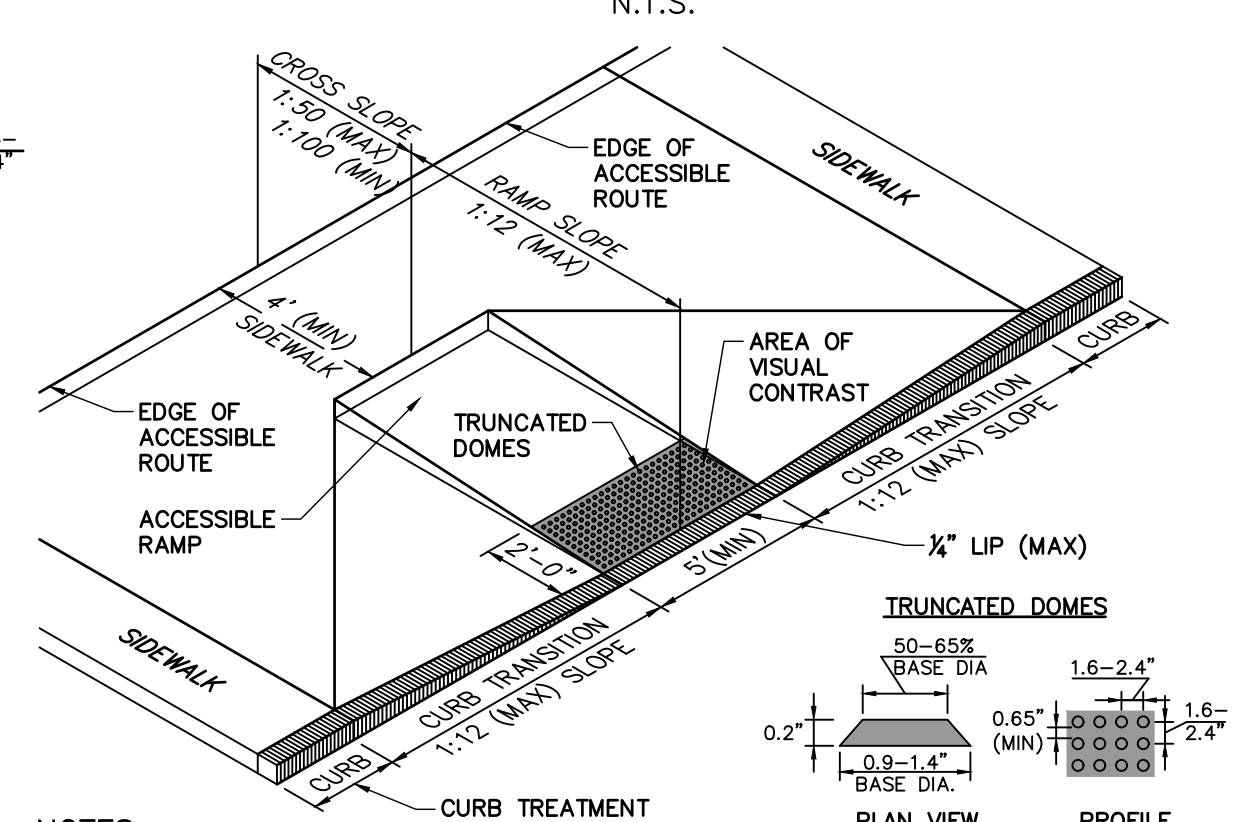


CONSTRUCTION NOTES:

1. ALL STRIPING FOR ACCESSIBLE PARKING STALLS AND ACCESS AISLES SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
2. ALL STRIPING FOR STANDARD PARKING SPACES TO BE 4" WIDE PAINTED STRIPES.
3. SEE SHEET LAYOUT PLAN FOR ACCESSIBLE STALL LOCATIONS.
4. ALL PARKING STALLS AND CROSSHATCH PAINT STRIPING SHALL BE COLOR WHITE.
5. ACCESS ISLE MUST BE 5'-0" (MIN.) FOR NON-VAN ACCESSIBLE STALLS.

ACCESSIBLE PARKING STALL MARKING

N.T.S.



NOTES

1. CURB RAMPS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) RULES AND REGULATIONS (521 CMR).
2. THE RUNNING SLOPE OF CURB RAMPS SHALL NOT BE GREATER THAN 1:12. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE GREATER THAN 1:20. THE CROSS SLOPE OF CURB RAMPS AND WALKING SURFACES SHALL NOT BE GREATER THAN 1:50 OR LESS THAN 1:100.
3. LANDINGS SHALL BE PROVIDED AT THE TOPS OF CURB RAMPS. THE LANDING CLEAR LENGTH SHALL BE 36 INCHES (3 FEET) MINIMUM. THE LANDING CLEAR WIDTH SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES, LEADING TO THE LANDING.
4. COUNTER SLOPES OF ADJOINING SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20.
5. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES AND BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

ACCESSIBLE CURB RAMP (TYPE "D")

N.T.S.

SUBMITTAL & REVISION RECORD	
NO.	DATE
1	10/10/2025 PERMITTING SUBMISSION
2	01/13/2026 RESPONSE TO PER REVIEW COMMENTS

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 www.cecinc.com

PARAGON DUNES MIXED-USE REDEVELOPMENT
 189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD
 HULL, MASSACHUSETTS

SITE DETAILS

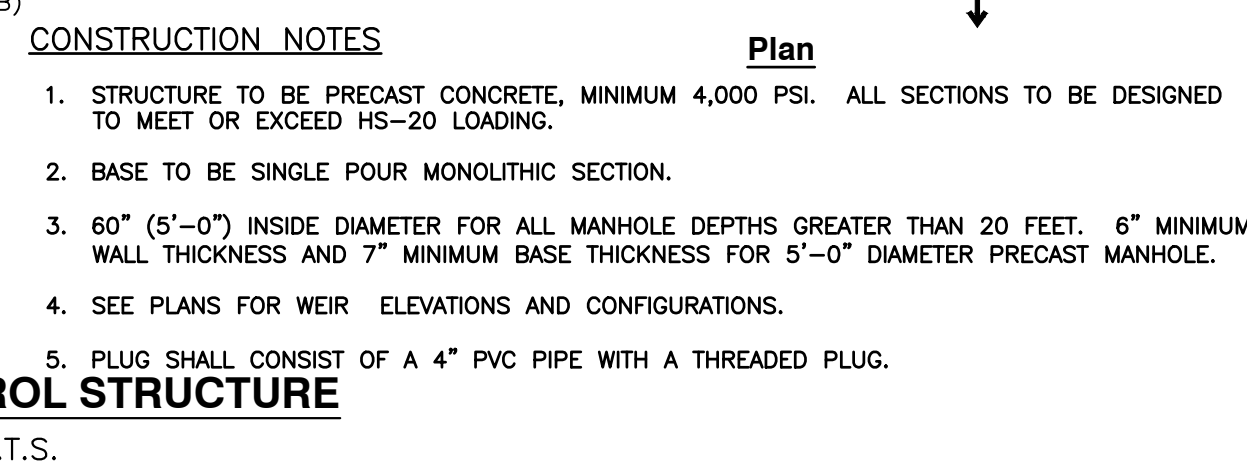
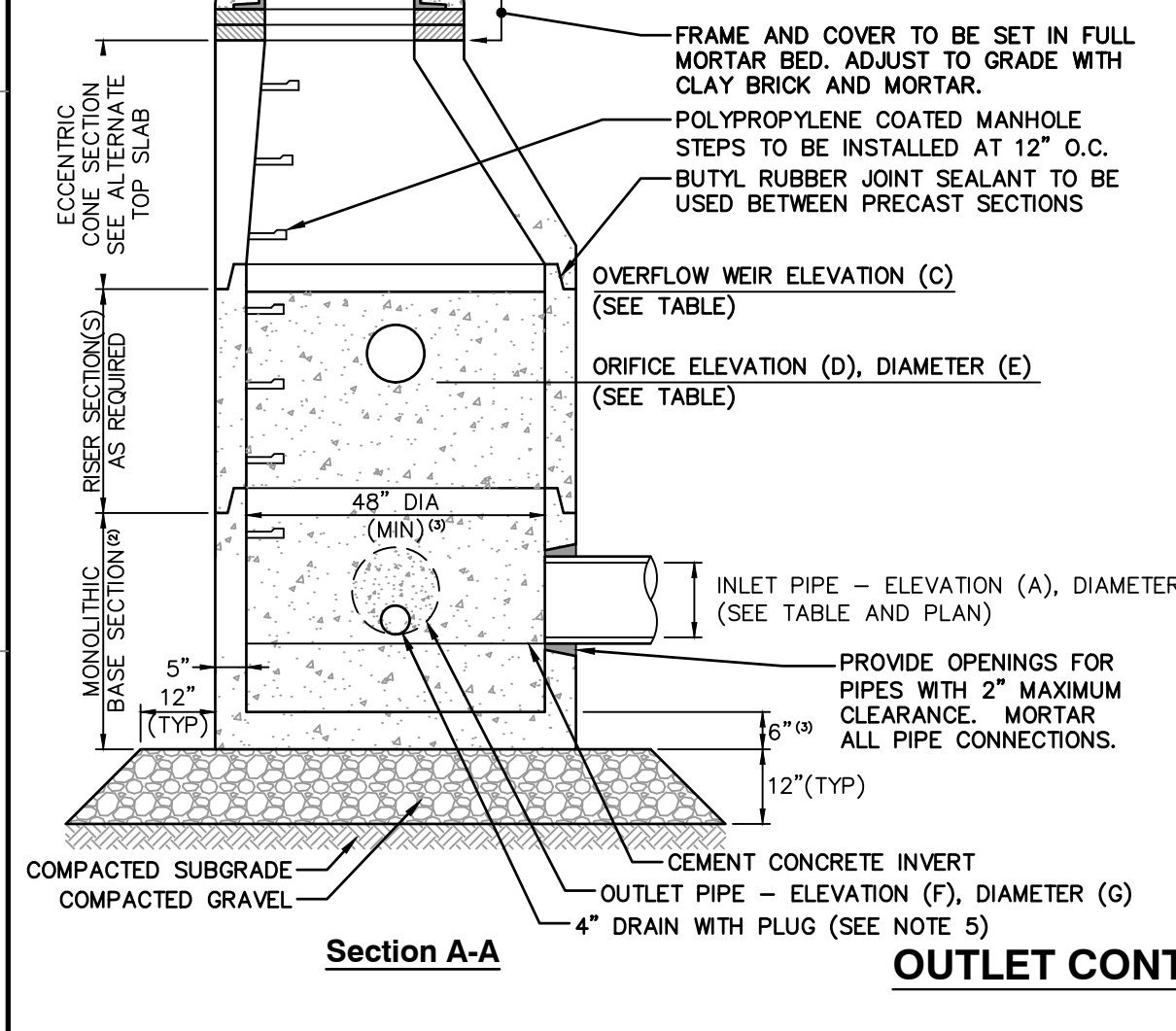
DATE: OCTOBER 10, 2025 DRAWN BY: CJV
 DWG SCALE: AS SHOWN CHECKED BY: KPS
 PROJECT NO: 334-762
 APPROVED BY: KPS

DRAWING NO: **C800**
 SHEET 12 OF 27



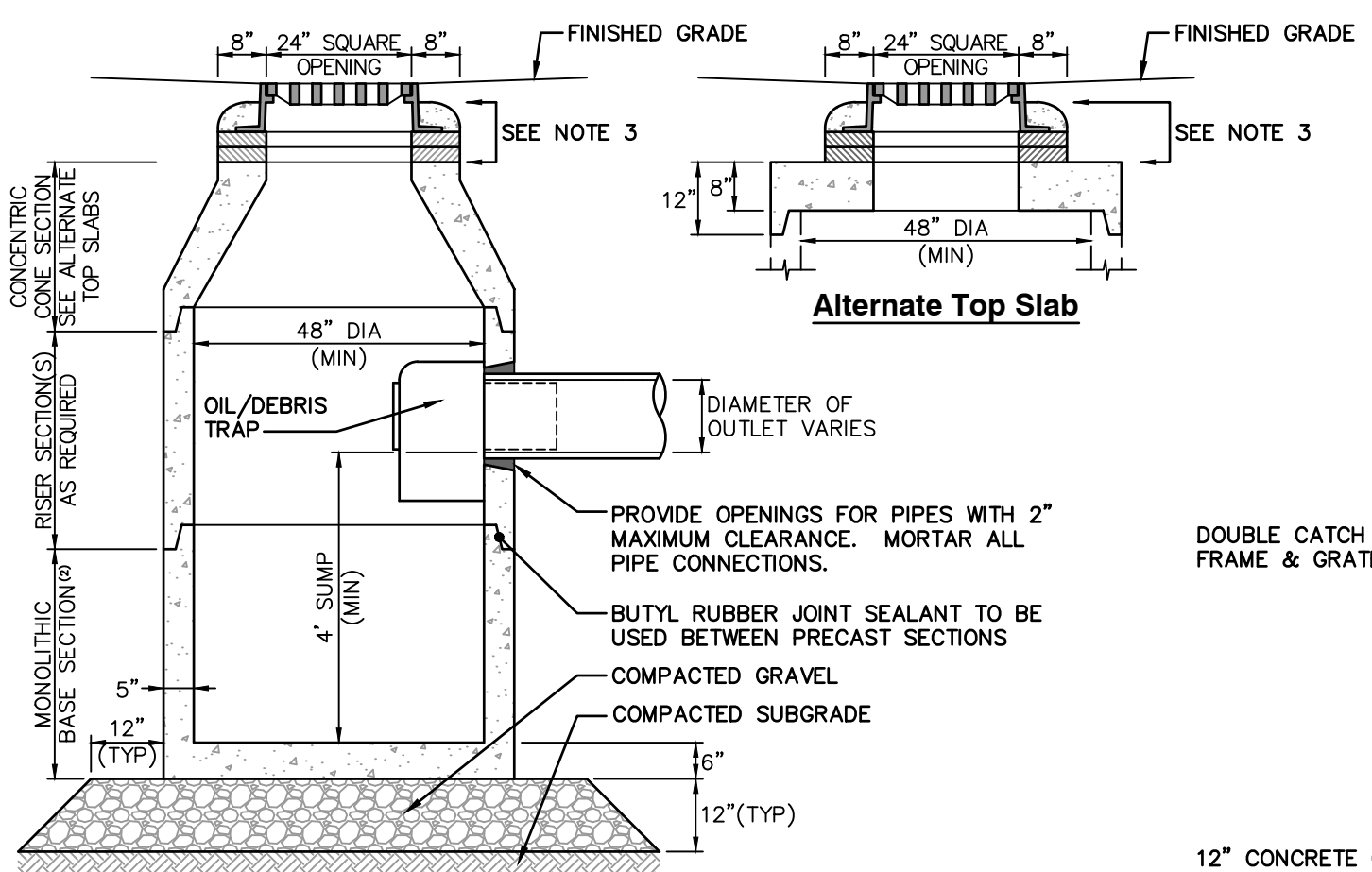
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OUTLET CONTROL STRUCTURE	INLET PIPE		OVERFLOW WEIR	ORIFICE			OUTLET PIPE	
	(A) INVERT EL.	(B) DIAMETER	(C) INVERT EL.	(D) INVERT EL.	(E) DIAMETER	(F) INVERT EL.	(G) DIAMETER	
OCS B5	6.09	12"	6.90	6.45	(2) 4"	5.43	12"	
OCS A11	5.50	12"	7.00	-	-	5.50	18"	
OCS A12	5.50	12"	6.50	-	-	5.50	18"	



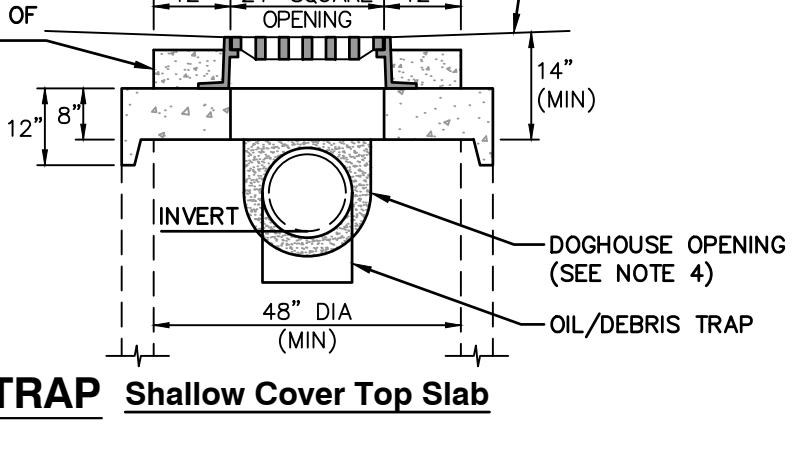
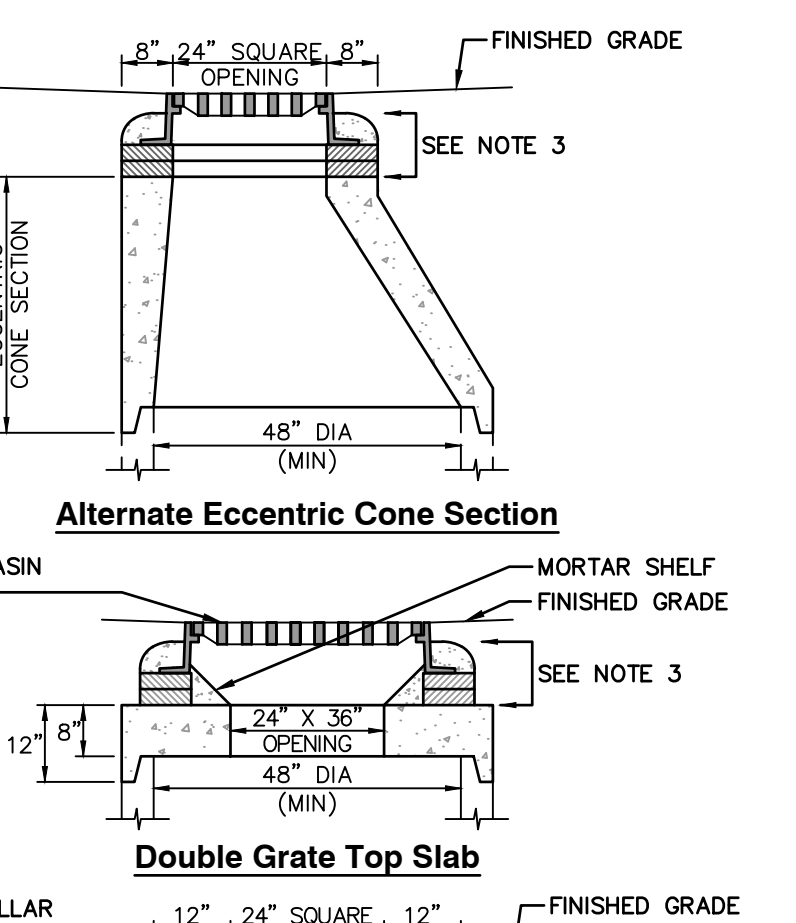
- CONSTRUCTION NOTES**
- STRUCTURE TO BE PRECAST CONCRETE, MINIMUM 4,000 PSI. ALL SECTIONS TO BE DESIGNED TO MEET OR EXCEED HS-20 LOADING.
 - BASE TO BE SINGLE POUR MONOLITHIC SECTION.
 - 60" (5'-0") INSIDE DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET. 6" MINIMUM WALL THICKNESS AND 7" MINIMUM BASE THICKNESS FOR 5'-0" DIAMETER PRECAST MANHOLE.
 - SEE PLANS FOR WEIR ELEVATIONS AND CONFIGURATIONS.
 - PLUG SHALL CONSIST OF A 4" PVC PIPE WITH A THREADED PLUG.

OUTLET CONTROL STRUCTURE
N.T.S.

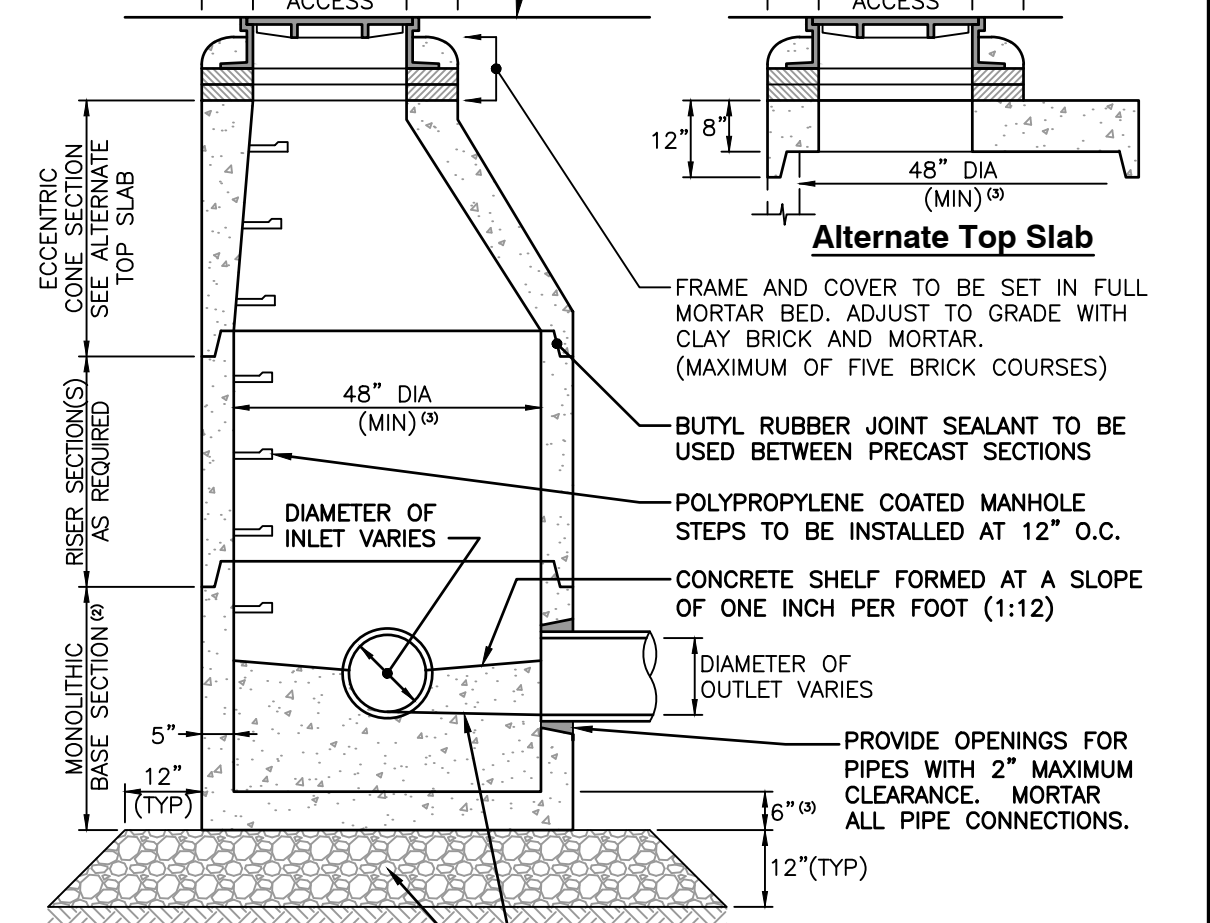


- CONSTRUCTION NOTES**
- STRUCTURE TO BE PRECAST CONCRETE, MINIMUM 4,000 PSI. ALL SECTIONS TO BE DESIGNED TO MEET OR EXCEED HS-20 LOADING.
 - BASE TO BE SINGLE POUR MONOLITHIC SECTION.
 - FRAME AND GRATE TO BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR. MAXIMUM OF FIVE BRICK COURSES.
 - PROVIDE DOGHOUSE OPENING FOR PIPES WITH 2" MAXIMUM CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON THE PIPE. GROUT ALL CONNECTIONS WITH NON-SHRINK GROUT.

CATCH BASIN WITH OIL/DEBRIS TRAP
N.T.S.

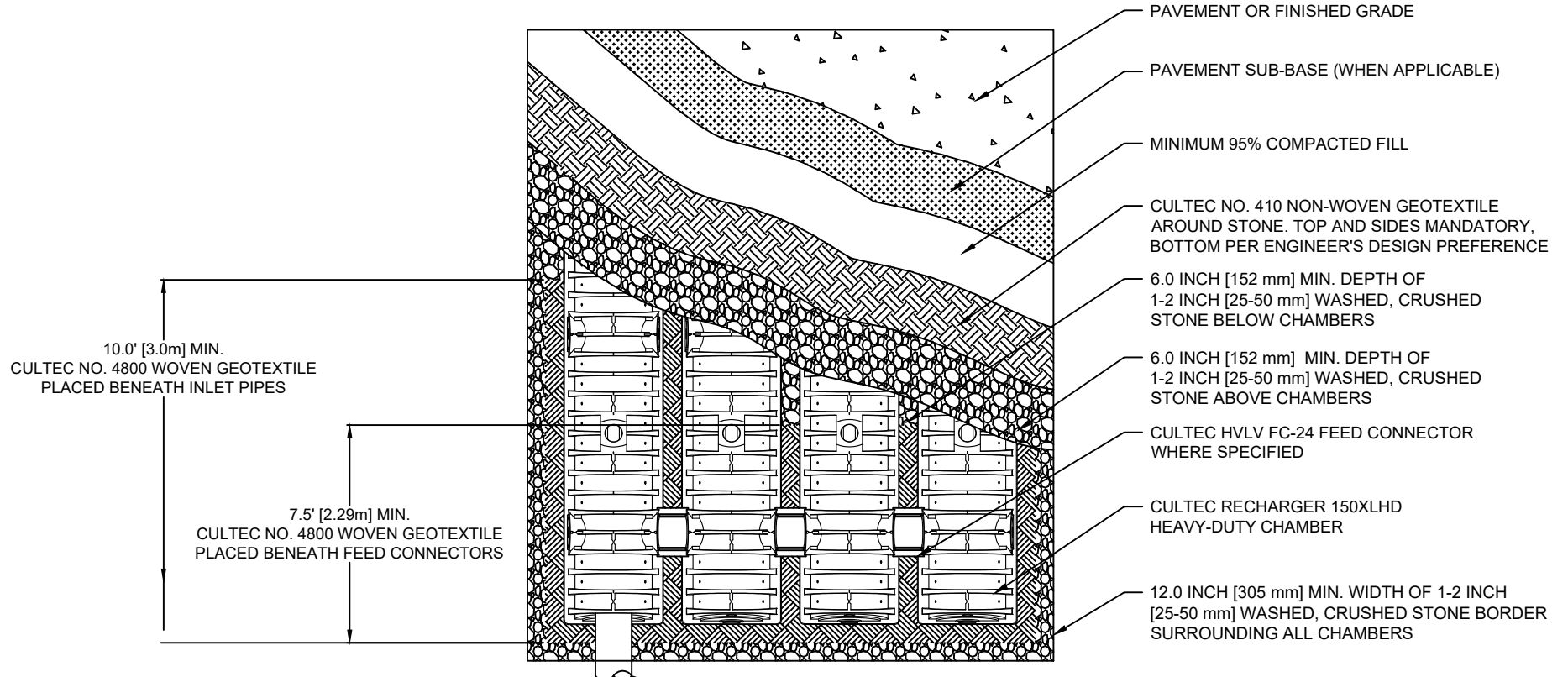


Shallow Cover Top Slab
N.T.S.

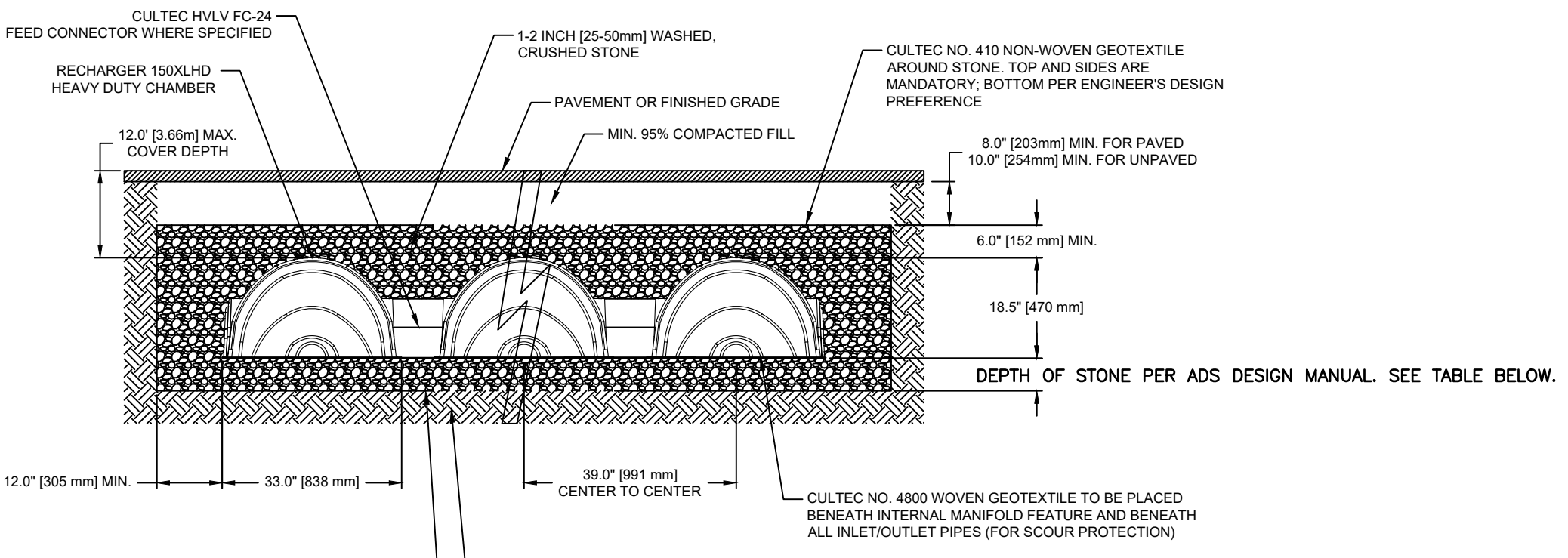


- CONSTRUCTION NOTES**
- STRUCTURE TO BE PRECAST CONCRETE, MINIMUM 4,000 PSI. ALL SECTIONS TO BE DESIGNED TO MEET OR EXCEED HS-20 LOADING.
 - BASE TO BE SINGLE POUR MONOLITHIC SECTION.
 - 60" (5'-0") INSIDE DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET. 6" MINIMUM WALL THICKNESS AND 8" MINIMUM BASE THICKNESS FOR 5'-0" DIAMETER PRECAST MANHOLE.

DRAIN MANHOLE
N.T.S.



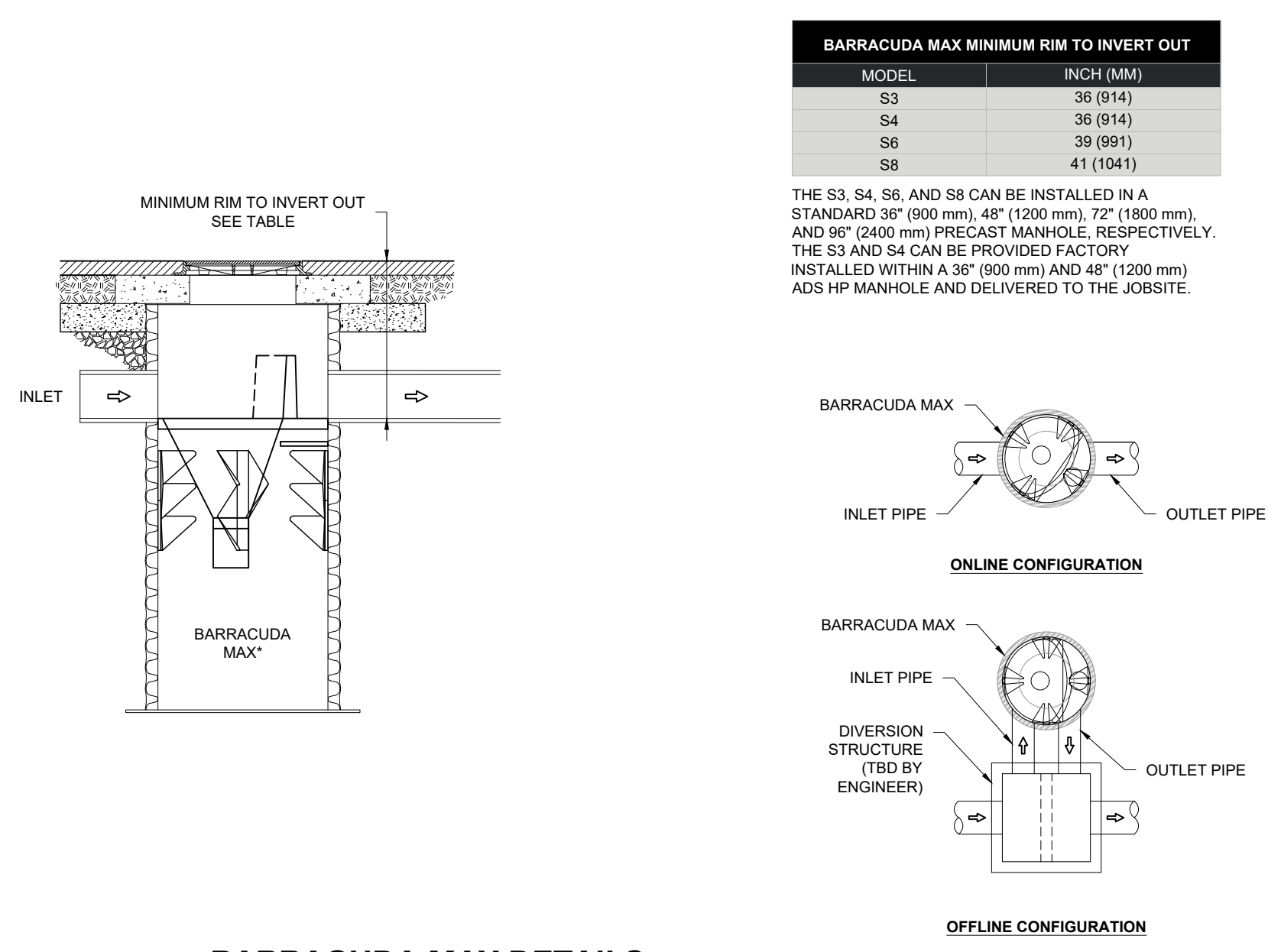
CULTEC RECHARGER 150XLHD HEAVY DUTY PLAN VIEW
N.T.S.



CULTEC RECHARGER 150XLHD HEAVY DUTY CROSS SECTION
N.T.S.

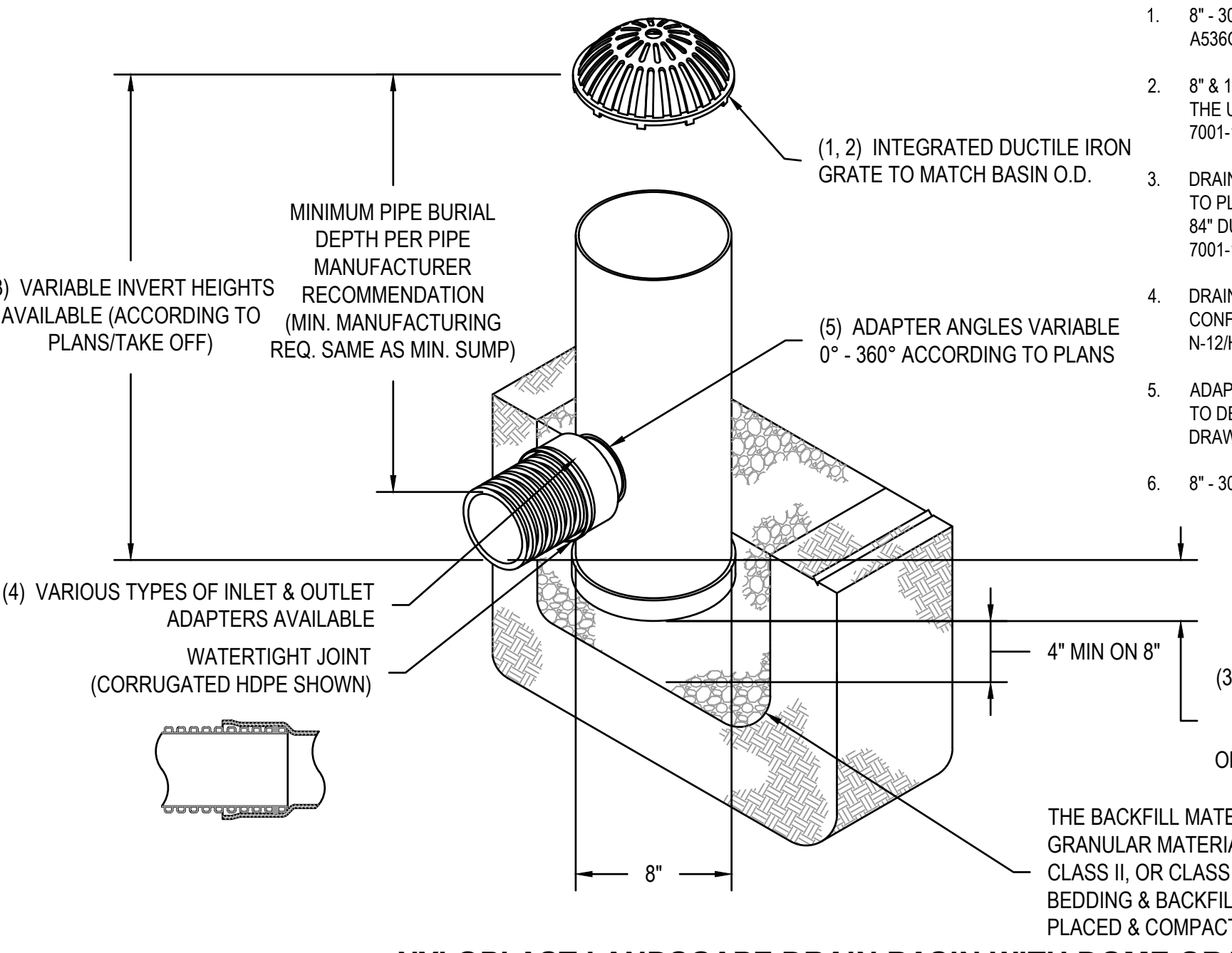
	INFILTRATION CHAMBER SYSTEM (P1A) INFORMATION	INFILTRATION CHAMBER SYSTEM (P2A) INFORMATION	INFILTRATION CHAMBER SYSTEM (P2B) INFORMATION	INFILTRATION CHAMBER SYSTEM (P3A) INFORMATION
TOP OF STONE	ELEV. 7.54	ELEV. 7.54	ELEV. 7.04	ELEV. 7.54
TOP OF CHAMBER	7.04	7.04	6.54	7.04
BOTTOM OF CHAMBER	5.50	5.50	5.00	5.50
BOTTOM OF STONE	5.00	5.00	4.50	5.00
ASSUMED GW ELEV	2.57	2.88	2.15	2.15

CULTEC RECHARGER 150XLHD
N.T.S.



BARRACUDA MAX	MINIMUM RIM TO INVERT OUT
S3	36 (914)
S4	36 (914)
S6	39 (991)
S8	41 (1041)

THE S3, S4, S6, AND S8 CAN BE INSTALLED IN A STANDARD 36" (900 mm), 48" (1200 mm), 72" (1800 mm), AND 96" (2400 mm) PRECAST MANHOLE, RESPECTIVELY. THE S3 AND S4 CAN BE PROVIDED FACTORY INSTALLED WITHIN A 36" (900 mm) AND 48" (1200 mm) ADS HP MANHOLE AND DELIVERED TO THE JOBSITE.



- 8" - 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536/GRADE 70-50-05.
- 8" & 10" DOME GRATES FIT ONTO THE DRAIN BASINS WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 7001-110-045.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 36").
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
- 8" - 30" DOME GRATES HAVE NO LOAD RATING.



SUBMITTAL & REVISION RECORD

NO.	DATE	DESCRIPTION
1.	10/10/2023	PERMITTING SUBMISSION
2.	01/17/2024	RESPONSE TO PER REVIEW COMMENTS

Civil & Environmental Consultants, Inc.
31 Bellows Road - Raynham, MA 02767
Ph: 774.501.2176 • 866.312.2024 • Fax: 774.501.2669
www.cecinc.com

PARAGON DUNES MIXED-USE REDEVELOPMENT
189 & 193 NANTASKET AVENUE & 0 GEORGE WASHINGTON BOULEVARD
HULL, MASSACHUSETTS

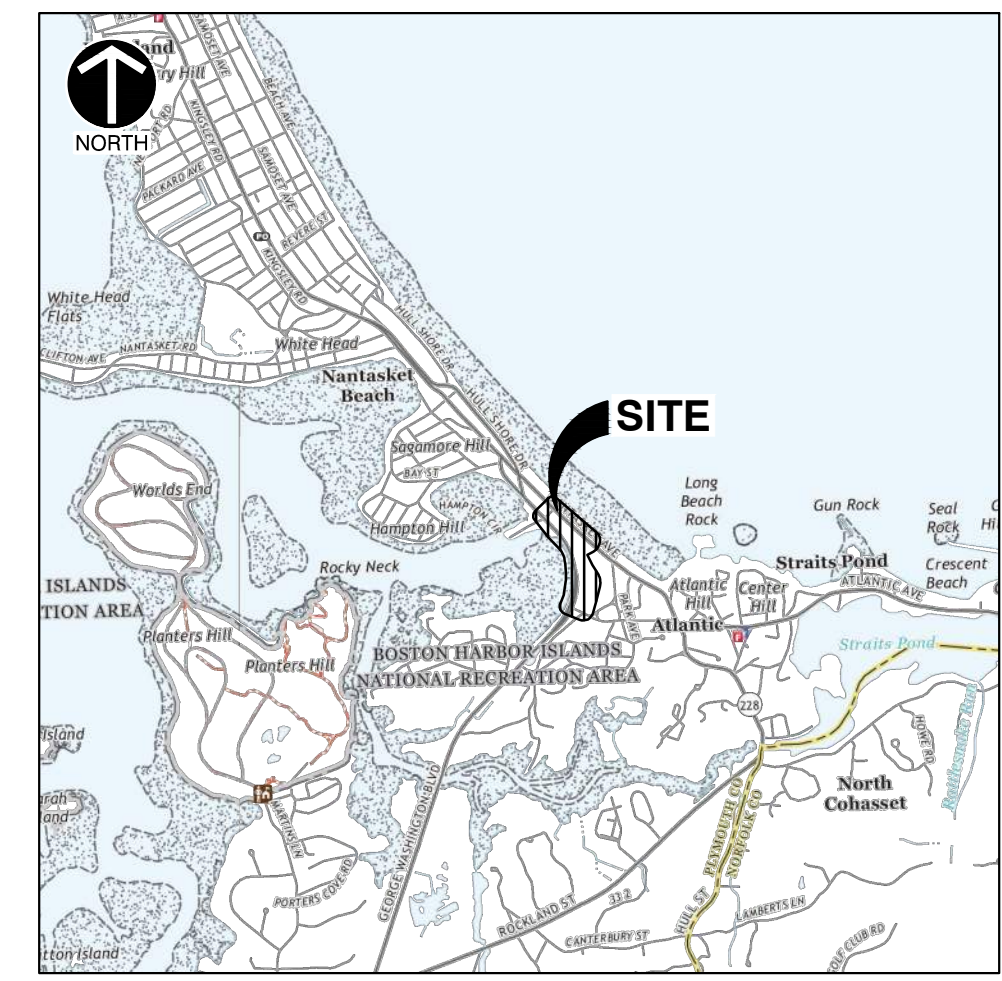
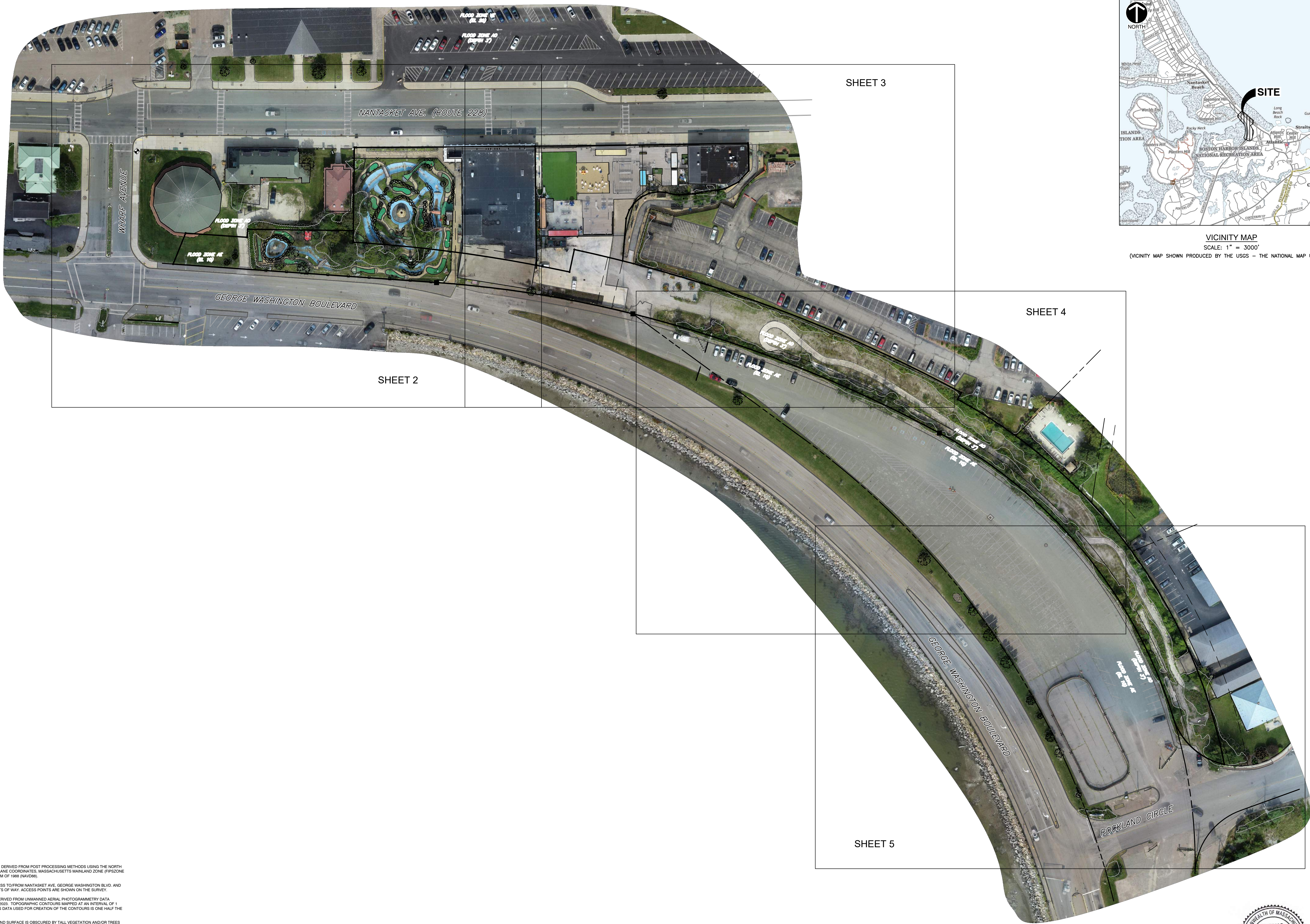
SITE DETAILS

DRAWING NO. **C801**

SHEET 13 OF 27

DATE: OCTOBER 10, 2023 | DRAWN BY: CJV | KPS
DWG SCALE: AS SHOWN | CHECKED BY: 334-762 | KPS
APPROVED BY:

A:\300-0001334-7621-0000\Draw\001\134762-001-0000.dwg(3/8/1) 15:17:21/2024 - (Approved) - LP: 1/17/2024 2:23 PM



VICINITY MAP
SCALE: 1" = 3000'
(VICINITY MAP SHOWN PRODUCED BY THE USGS - THE NATIONAL MAP US TOPO)

NO.	DATE	DESCRIPTION
1	01/14/2024	ADDED TOPOGRAPHY & UTILITY INFORMATION

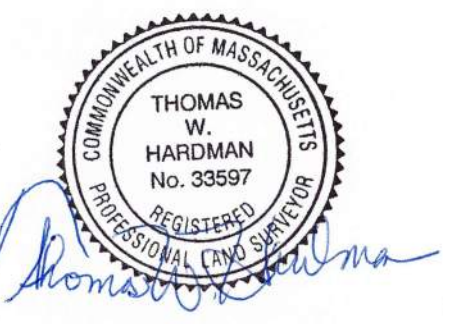
CEC
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PROCOPIO COMPANIES
PARAGON DUNES DEVELOPMENT
189-197 NANTASKET AVE &
0 GEORGE WASHINGTON BLVD.
HULL, MA 01835

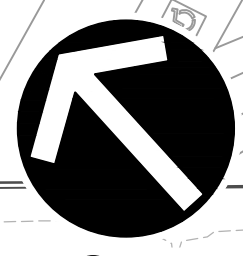
EXISTING CONDITIONS PLAN	
OVERALL PLAN	
DATE: SEPTEMBER 2023	DRAWN BY: DJP
DWG SCALE: 1"=60'	TWHP
CHECKED BY: TWH	334-762
APPROVED BY: TWH	TWH

SURVEYOR'S NOTES:

- 1.) THE BASIS OF BEARING IS GRID NORTH DERIVED FROM POST PROCESSING METHODS USING THE NORTH AMERICAN DATUM OF 1983 (NAD83) STATE PLANE COORDINATES, MASSACHUSETTS MAINLAND ZONE (PPSZONE 2001) AND NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- 2.) SUBJECT PROPERTY HAS DIRECT ACCESS TO FROM NANTASKET AVE, GEORGE WASHINGTON BLVD. AND ROCKLAND CIRCLE WHICH ARE PUBLIC RIGHTS OF WAY. ACCESS POINTS ARE SHOWN ON THE SURVEY.
- 3.) AERIAL IMAGERY AND TOPOGRAPHY DERIVED FROM UNMANNED AERIAL PHOTOGRAMMETRY DATA COLLECTED BY CEC, INC. ON SEPTEMBER 8, 2023. TOPOGRAPHIC CONTOURS MAPPED AT AN INTERVAL OF 1 FOOT. THE VERTICAL ACCURACY OF THE LAS DATA USED FOR CREATION OF THE CONTOUR IS ONE HALF THE CONTOUR INTERVAL OR ±0.5.
- 4.) AREAS OF MAPPING WHERE THE GROUND SURFACE IS OBTAINED BY TALL VEGETATION AND/OR TREES ARE IDENTIFIED ON THE PLAN. CONTOURS MAY BE SHOWN, HOWEVER, A FIELD CHECK FOR ACCURACY IS HIGHLY RECOMMENDED.
- 5.) THE SUBJECT PROPERTIES ARE LOCATED IN "SPECIAL FLOOD HAZARD AREA" ZONE AE (AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) AND ZONE AD WITH DETERMINED FLOOD DEPTHS OF 1 TO 3 FEET BASED ON THE FLOOD INSURANCE RATE MAP, MAP NO.: 250503004A, WITH AN EFFECTIVE DATE OF JULY 17, 2012 AND REVISED TO REFLECT LOMR, EFFECTIVE DATE OF JANUARY 24, 2018.
- 6.) THE UTILITIES SHOWN HEREIN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES LOCATED HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES LOCATED ARE IN THE EXACT LOCATION INDICATED.

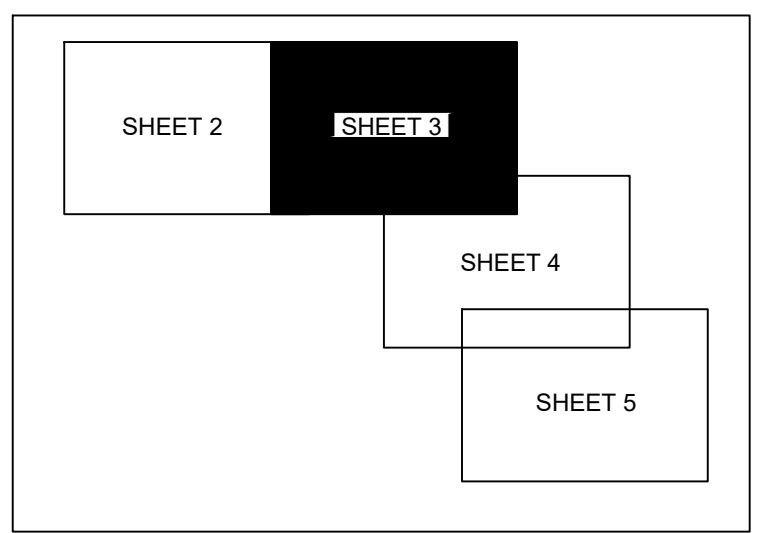
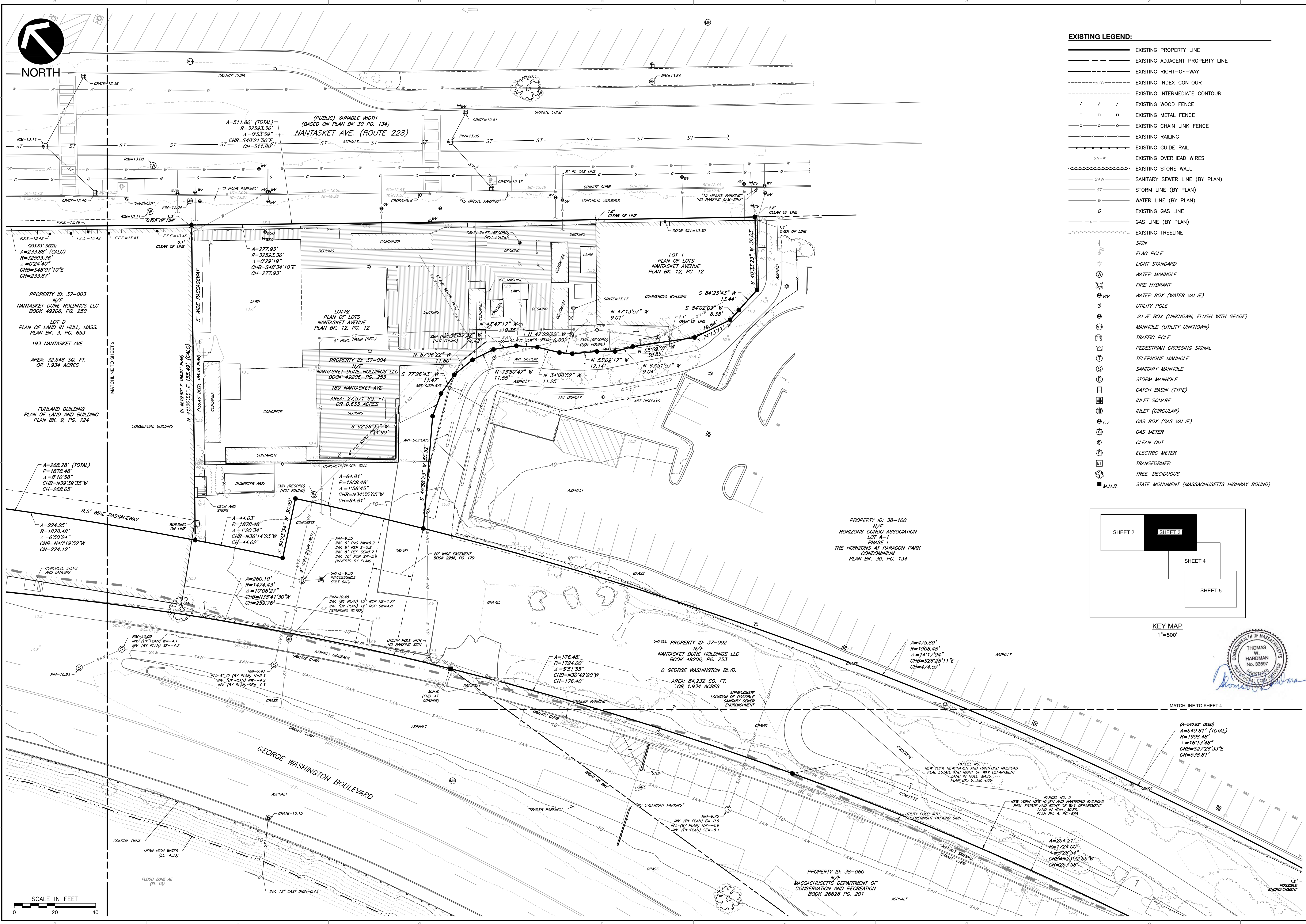


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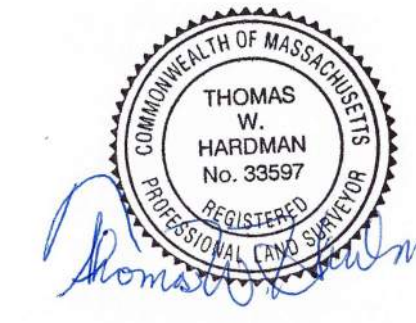


NORTH

- EXISTING LEGEND:**
- EXISTING PROPERTY LINE
 - - - EXISTING ADJACENT PROPERTY LINE
 - - - EXISTING RIGHT-OF-WAY
 - - - EXISTING INDEX CONTOUR
 - - - EXISTING INTERMEDIATE CONTOUR
 - / - / - EXISTING WOOD FENCE
 - - - EXISTING METAL FENCE
 - - - EXISTING CHAIN LINK FENCE
 - - - EXISTING RAILING
 - - - EXISTING GUIDE RAIL
 - - - EXISTING OVERHEAD WIRES
 - - - EXISTING STONE WALL
 - - - EXISTING SANITARY SEWER LINE (BY PLAN)
 - - - EXISTING STORM LINE (BY PLAN)
 - - - EXISTING WATER LINE (BY PLAN)
 - - - EXISTING GAS LINE
 - - - EXISTING GAS LINE (BY PLAN)
 - - - EXISTING TRELISE
 - SIGN
 - FLAG POLE
 - LIGHT STANDARD
 - WATER MANHOLE
 - FIRE HYDRANT
 - WV WATER BOX (WATER VALVE)
 - UTILITY POLE
 - VALVE BOX (UNKNOWN, FLUSH WITH GRADE)
 - MANHOLE (UTILITY UNKNOWN)
 - TRAFFIC POLE
 - PEDESTRIAN CROSSING SIGNAL
 - TELEPHONE MANHOLE
 - SANITARY MANHOLE
 - STORM MANHOLE
 - CATCH BASIN (TYPE)
 - INLET SQUARE
 - INLET (CIRCULAR)
 - GV GAS BOX (GAS VALVE)
 - GAS METER
 - CLEAN OUT
 - ELECTRIC METER
 - TRANSFORMER
 - TREE, DECIDUOUS
 - M.H.B. STATE MONUMENT (MASSACHUSETTS HIGHWAY BOUND)



KEY MAP
1"=500'



NO.	DATE	DESCRIPTION
1	01/20/2024	ADDED TOPOGRAPHY & UTILITY INFORMATION

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 31 Bellows Road · Raynham, MA 02767
 Ph: 774.501.2176 · 866.912.2024 · Fax: 774.501.2669
 www.ceccinc.com

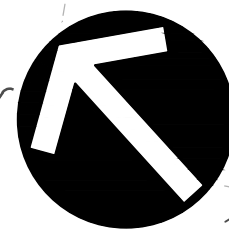
**PROPCIO COMPANIES
 PARAGON DUNES DEVELOPMENT
 189-197 NANTASKET AVE &
 0 GEORGE WASHINGTON BLVD.
 HULL, MA 01835**

EXISTING CONDITIONS PLAN

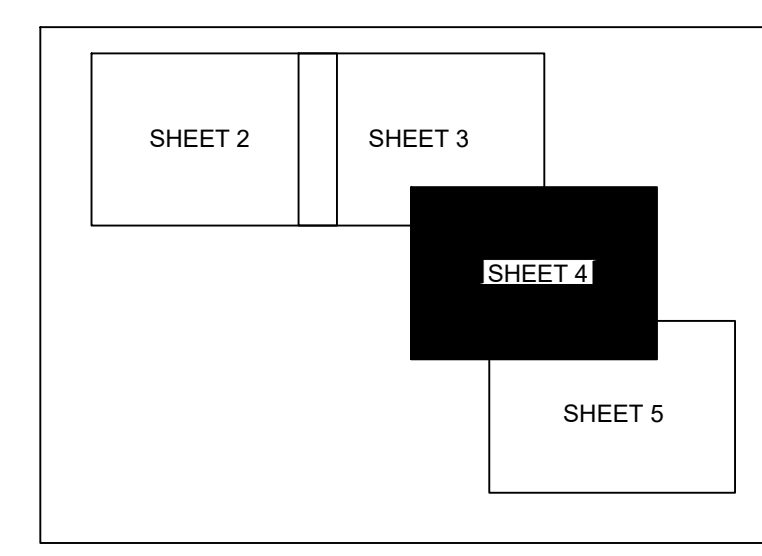
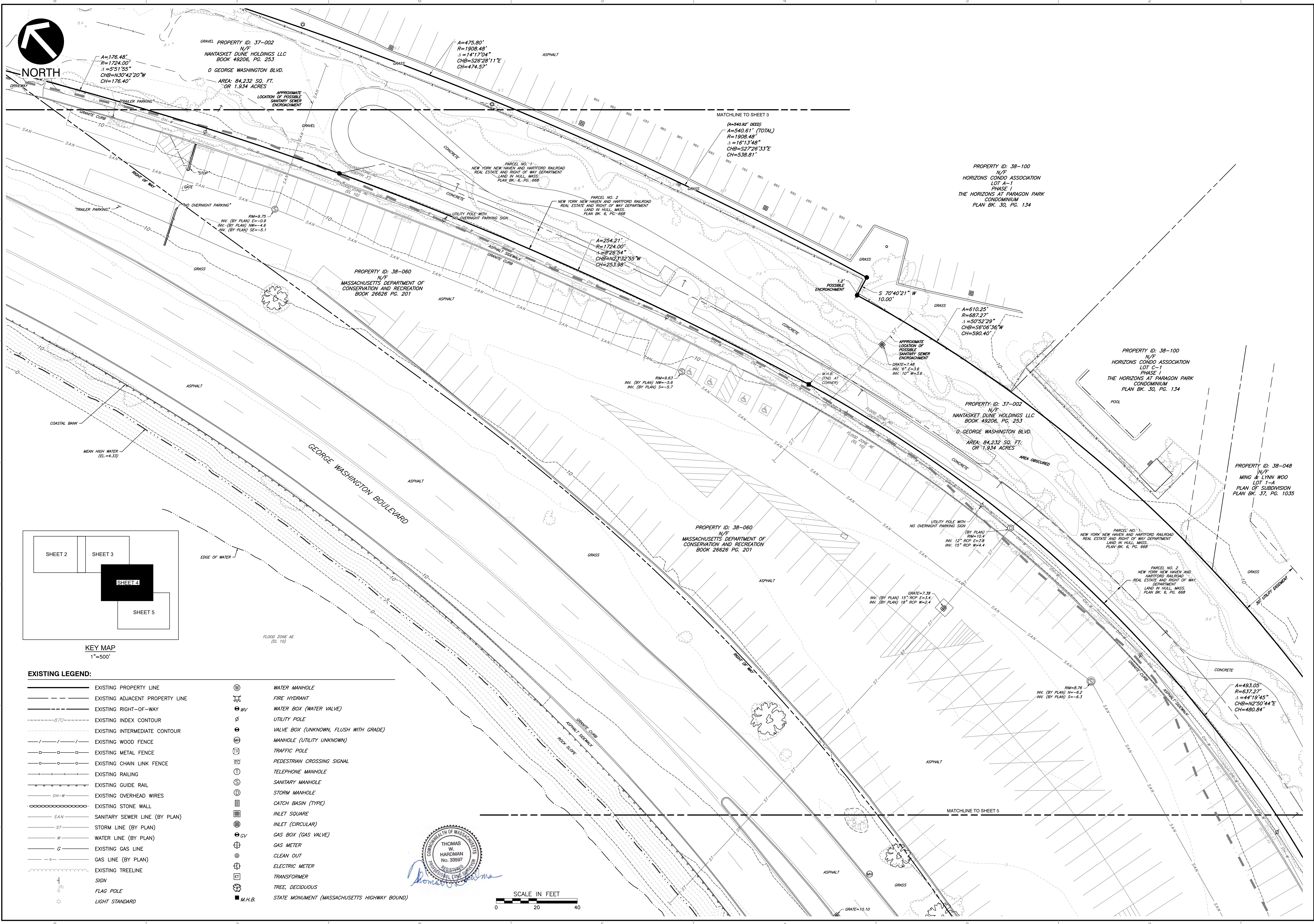
DATE: SEPTEMBER 2023 DRAWN BY: DJP
 DWG SCALE: 1"=20' TWH
 PROJECT NO: 334-762
 CHECKED BY: TWH
 APPROVED BY: TWH

DRAWING NO: **SV-03**
 SHEET 3 OF 5

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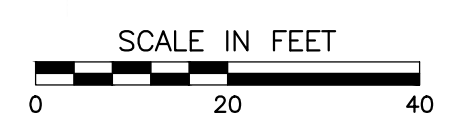
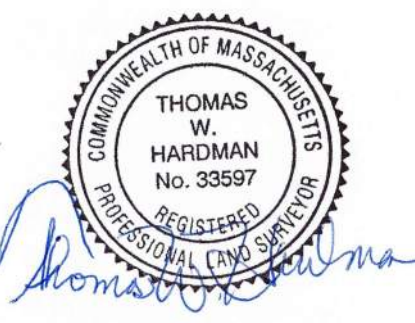
NORTH



KEY MAP
1"=500'

EXISTING LEGEND:

- | | | | |
|--|---------------------------------|--|--|
| | EXISTING PROPERTY LINE | | WATER MANHOLE |
| | EXISTING ADJACENT PROPERTY LINE | | FIRE HYDRANT |
| | EXISTING RIGHT-OF-WAY | | WATER BOX (WATER VALVE) |
| | EXISTING INDEX CONTOUR | | UTILITY POLE |
| | EXISTING INTERMEDIATE CONTOUR | | VALVE BOX (UNKNOWN, FLUSH WITH GRADE) |
| | EXISTING WOOD FENCE | | MANHOLE (UTILITY UNKNOWN) |
| | EXISTING METAL FENCE | | TRAFFIC POLE |
| | EXISTING CHAIN LINK FENCE | | PEDESTRIAN CROSSING SIGNAL |
| | EXISTING RAILING | | TELEPHONE MANHOLE |
| | EXISTING GUIDE RAIL | | SANITARY MANHOLE |
| | EXISTING OVERHEAD WIRES | | STORM MANHOLE |
| | EXISTING STONE WALL | | CATCH BASIN (TYPE) |
| | SANITARY SEWER LINE (BY PLAN) | | INLET SQUARE |
| | STORM LINE (BY PLAN) | | INLET (CIRCULAR) |
| | WATER LINE (BY PLAN) | | GAS BOX (GAS VALVE) |
| | EXISTING GAS LINE | | GAS METER |
| | GAS LINE (BY PLAN) | | CLEAN OUT |
| | EXISTING TREELINE | | ELECTRIC METER |
| | SIGN | | TRANSFORMER |
| | FLAG POLE | | TREE, DECIDUOUS |
| | LIGHT STANDARD | | STATE MONUMENT (MASSACHUSETTS HIGHWAY BOUND) |



NO.	DATE	DESCRIPTION
1	01/20/2024	ADDED TOPOGRAPHY & UTILITY INFORMATION

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189-197 NANTASKET AVE &
0 GEORGE WASHINGTON BLVD.
HULL, MA 01835

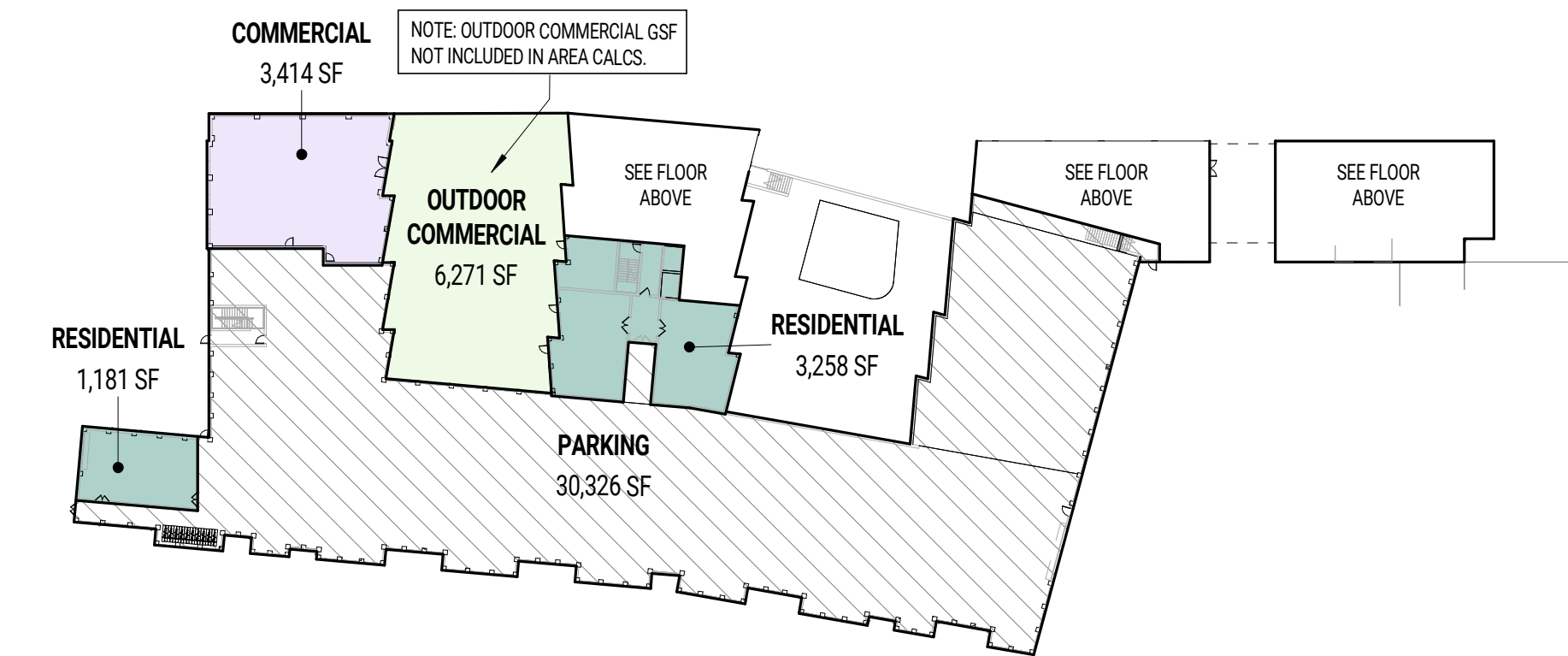
EXISTING CONDITIONS PLAN	
DATE: SEPTEMBER 2023	DRAWN BY: DJP
DWG SCALE: 1"=20'	TWHP
PROJECT NO: 334-762	TWHP
APPROVED BY:	TWHP
DRAWING NO: SV-04	
SHEET 4 OF 5	

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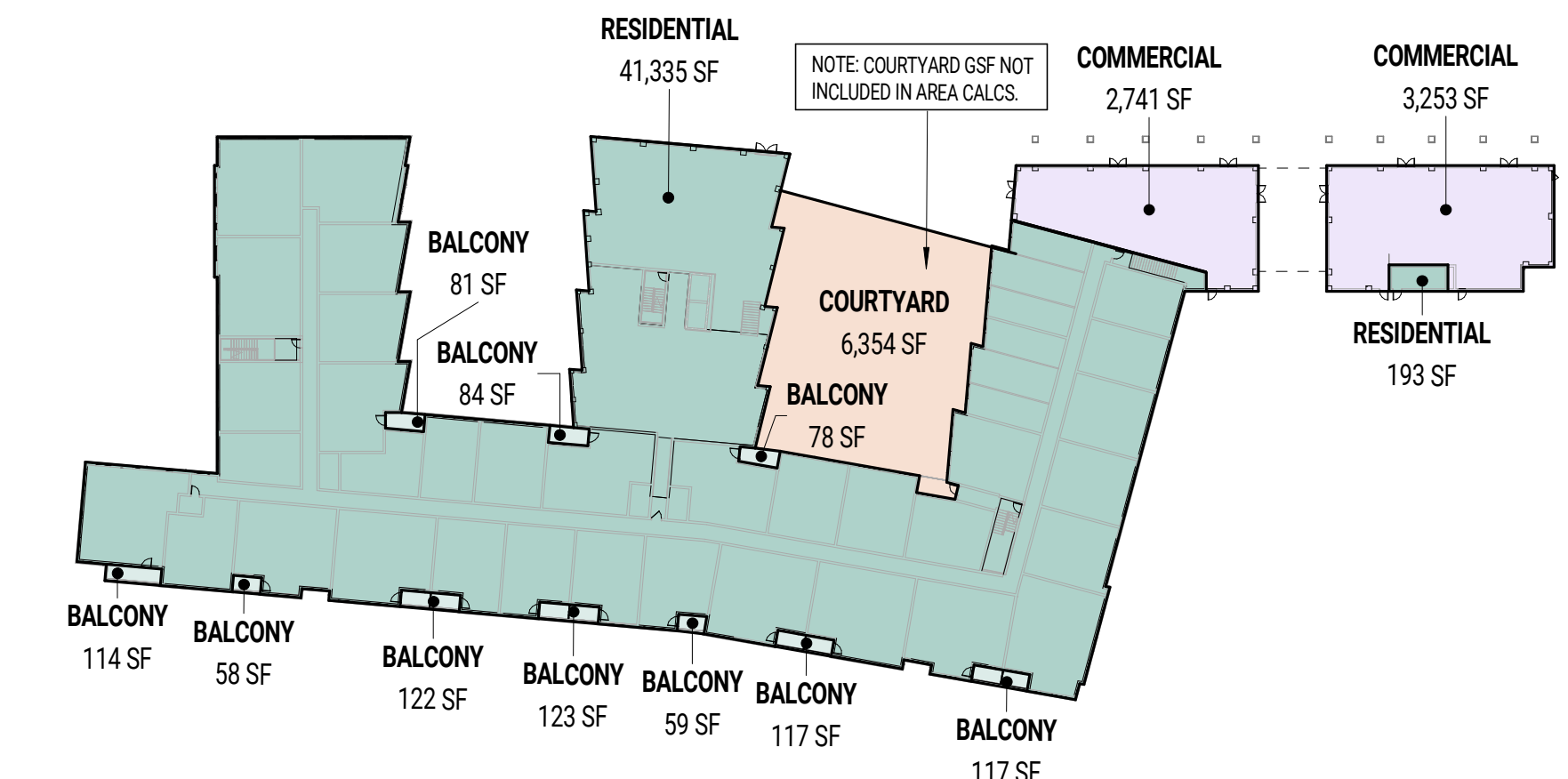
BUILDING AREA DIAGRAMS (GSF)

GSF SCHEDULE	
USE	AREA
PARKING LEVEL	
COMMERCIAL	3,414 SF
PARKING	30,326 SF
RESIDENTIAL	4,439 SF
	38,179 SF
1ST FLOOR	
BALCONY	951 SF
COMMERCIAL	5,994 SF
RESIDENTIAL	41,527 SF
	48,473 SF
2ND FLOOR	
BALCONY	1,231 SF
RESIDENTIAL	49,442 SF
	50,673 SF
3RD FLOOR	
BALCONY	3,936 SF
RESIDENTIAL	46,553 SF
	50,489 SF
TOTAL GSF:	187,813 SF

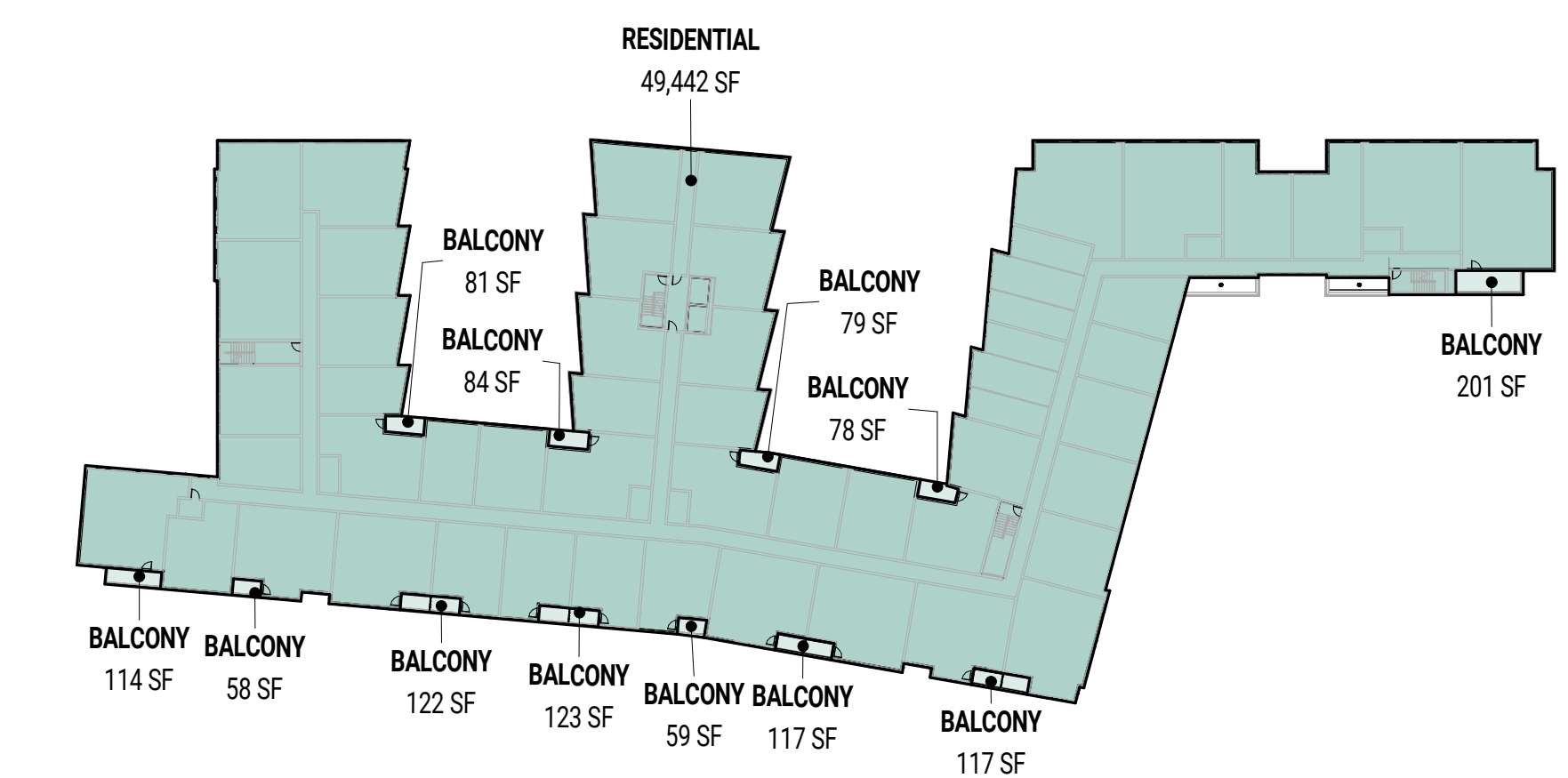
RESIDENTIAL MATRIX			
TYPE	COUNT	REQ. PARKING	NET SF
1 BED & +DEN, 1 BED JR, STUDIO	87	87	63,995 SF
2 BED & +DEN	44	88	49,227 SF
3 BED	1	2	1,426 SF
UNIT TOTAL:	132	177	114,648 SF



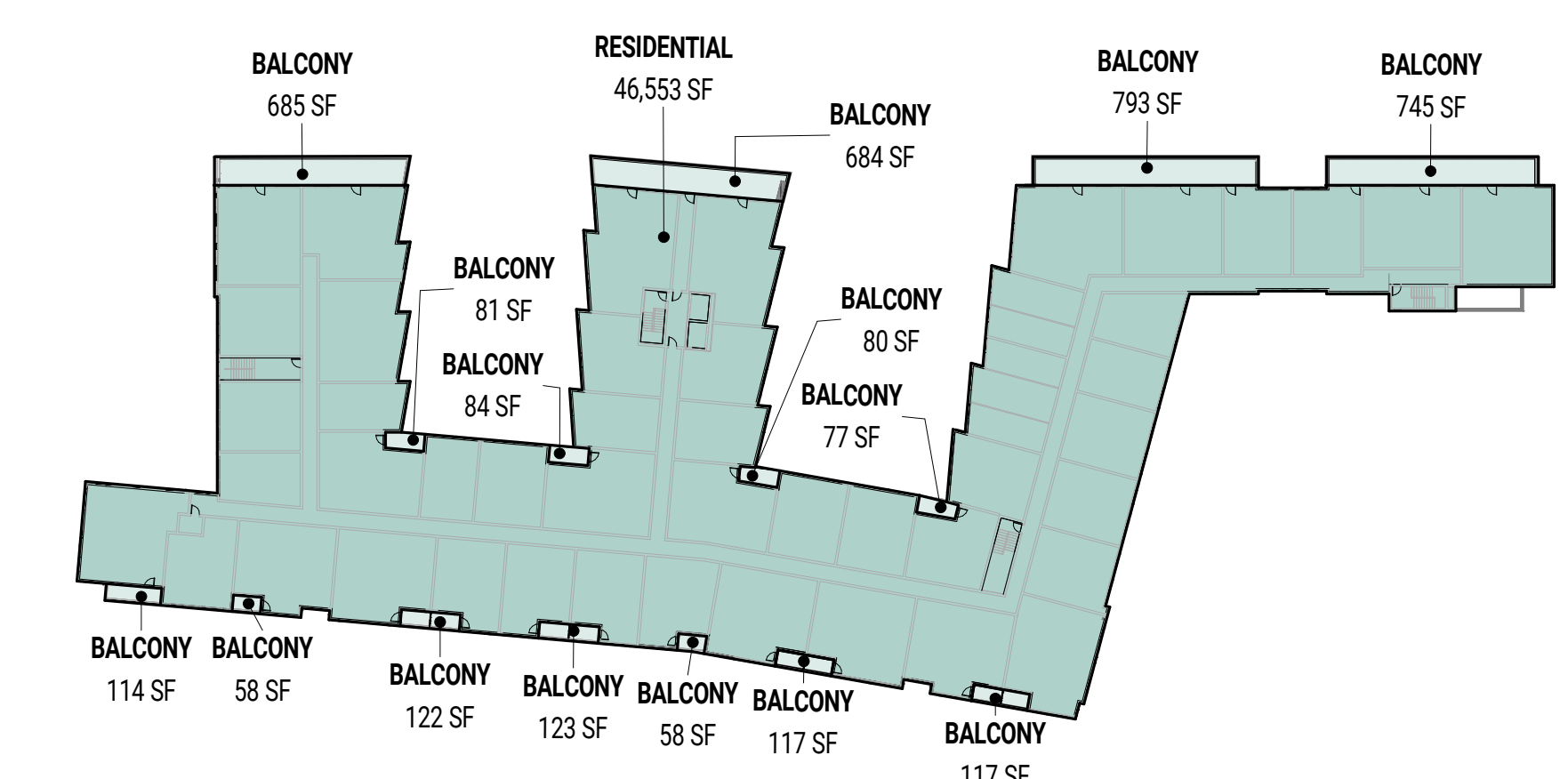
1 GSF DIAGRAM - PARKING LEVEL
SCALE: 1" = 60'-0"



2 GSF DIAGRAM - 1ST FLOOR
SCALE: 1" = 60'-0"



3 GSF DIAGRAM - 2ND FLOOR
SCALE: 1" = 60'-0"



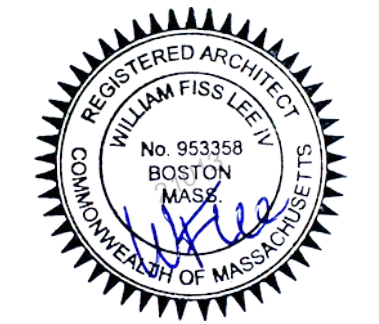
4 GSF DIAGRAM - 3RD FLOOR
SCALE: 1" = 60'-0"



MONTE FRENCH DESIGN STUDIO (MFDS)
650 COLUMBUS AVE, STE. A
BOSTON MA, 02118
T: 617-606-4496
WWW.MFDS-BOS.COM

CONSULTANTS:

Response to Peer Review Comments
(NOT FOR CONSTRUCTION)



MARK: DATE: DESCRIPTION:
ISSUE LOG:

PROJECT NAME:
**PARAGON DUNES
MIXED-USE
REDEVELOPMENT**
ADDRESS:
197 NANTASKET AVE, HULL, MA 02045
DATE ISSUED: 1/31/2024
PROJECT #: 21013
SCALE: As indicated
DRAWN BY: AY, TM, MN

PROGRAM SUMMARY

G-003A



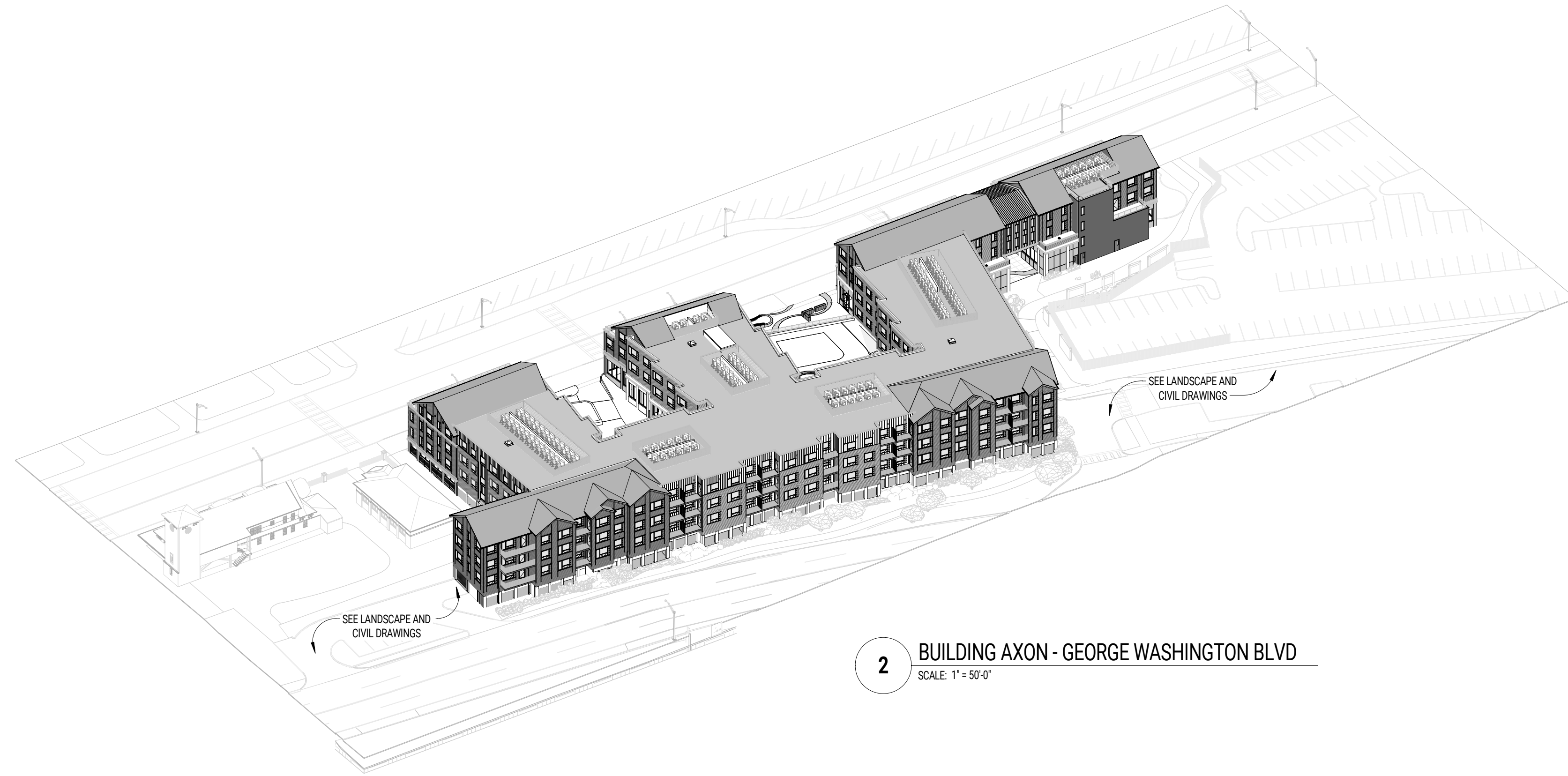
5 RENDERED PERSPECTIVE - VIEW NORTH DOWN GEORGE WASHINGTON BLVD



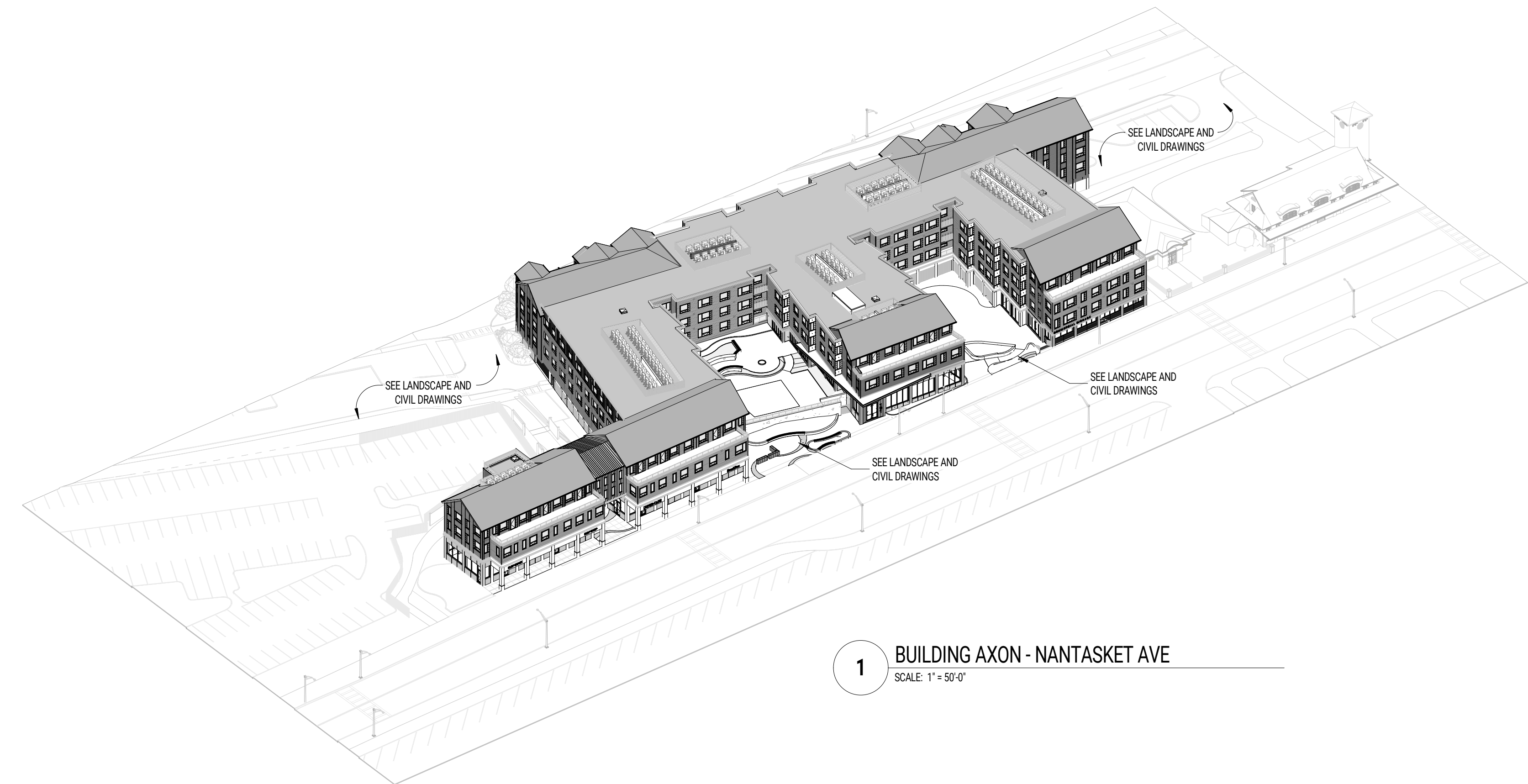
4 RENDERED PERSPECTIVE - VIEW SOUTH DOWN NANTASKET AVE



3 RENDERED PERSPECTIVE - VIEW NORTH DOWN NANTASKET AVE



2 BUILDING AXON - GEORGE WASHINGTON BLVD
SCALE: 1" = 50'-0"



1 BUILDING AXON - NANTASKET AVE
SCALE: 1" = 50'-0"

CONSULTANTS:

Response to Peer Review Comments
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ISSUE LOG:

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ADDRESS:
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DATE ISSUED: 1/31/2024
PROJECT #: 21013
SCALE: 1" = 40'-0"
DRAWN BY: AY, TM, MN

OVERALL BUILDING
AXONOMETRICS &
RENDERINGS

CONSULTANTS:

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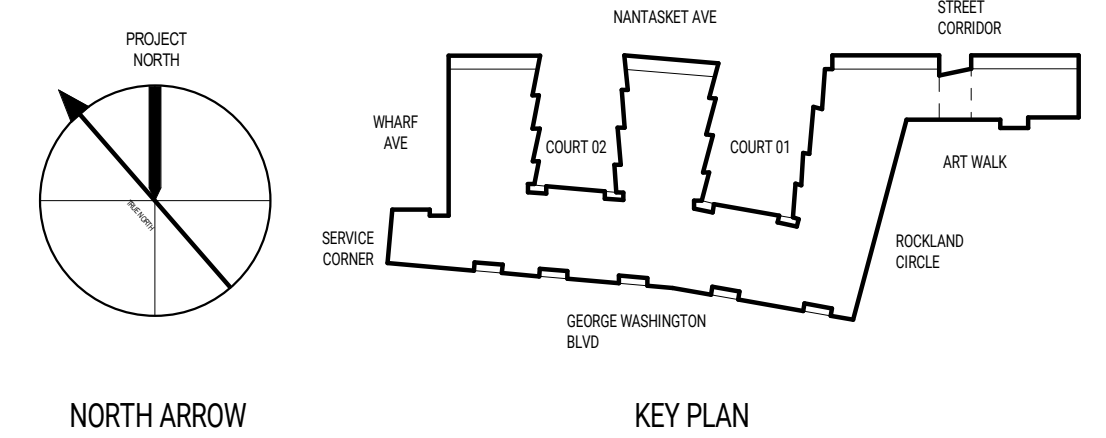


MARK: DATE: DESCRIPTION:
ISSUE LOG:

PROJECT NAME:
PARAGON DUNES MIXED-USE REDEVELOPMENT
ADDRESS:
197 NANTASKET AVE, HULL, MA 02045
DATE ISSUED: 1/31/2024
PROJECT #: 21013
SCALE: 3/64" = 1'-0"
DRAWN BY: AY, TM, MN

ARCHITECTURAL SITE PLAN

AS002



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Response to Peer Review Comments
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MIXED-USE
REDEVELOPMENT**
ADDRESS:
197 NANTASKET AVE, HULL, MA 02045
DATE ISSUED: 1/31/2024
PROJECT #: 21013
SCALE: As indicated
DRAWN BY: AY, TM, MN

FLOOR PLAN - PARKING LEVEL

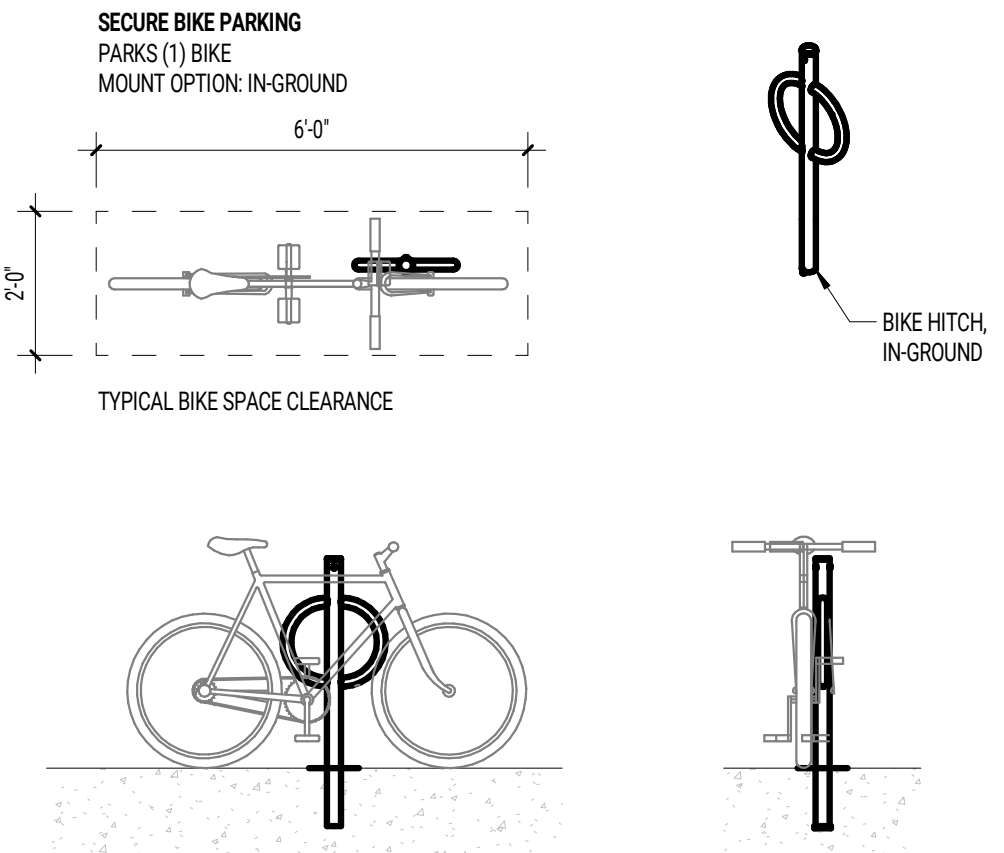
A-101a



81 COVERED PARKING SPOTS INCLUDING 6 ADA SPACES
(6' PER SPACE ADDED FOR STRUCTURAL POST ALLOCATION)

81 COVERED + 104 SURFACE = 185 OFFSTREET VEHICULAR PARKING SPACES TOTAL ON SITE
2 BICYCLE SPACES PER 20 OFFSTREET PARKING SPACES = 10 BICYCLE SPACES REQUIRED AND PROVIDED

(3) Bicycle parking
(a) Bicycle parking shall be provided for all new development, and shall be located as close as possible to the building entrance(s).
(b) Two bicycle parking spaces shall be provided for each 20 off-street parking spaces required.
(c) Each will be a minimum of two feet wide by six feet long.
(d) Rack(s) will be provided that allow for the bicycle frame and one wheel to be locked to the rack and that support the bicycle in a stable position without damage to wheels, frame or components. All bicycle racks shall be securely anchored to the ground or building structure.



A-101a

CONSULTANTS:

Response to Peer Review Comments
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MARK: DATE: DESCRIPTION:
ISSUE LOG:

PROJECT NAME:
**PARAGON DUNES
MIXED-USE
REDEVELOPMENT**
ADDRESS:
197 NANTASKET AVE, HULL, MA 02045
DATE ISSUED: 1/31/2024
PROJECT #: 21013
SCALE: 1" = 20'-0"
DRAWN BY: AY, TM, MN

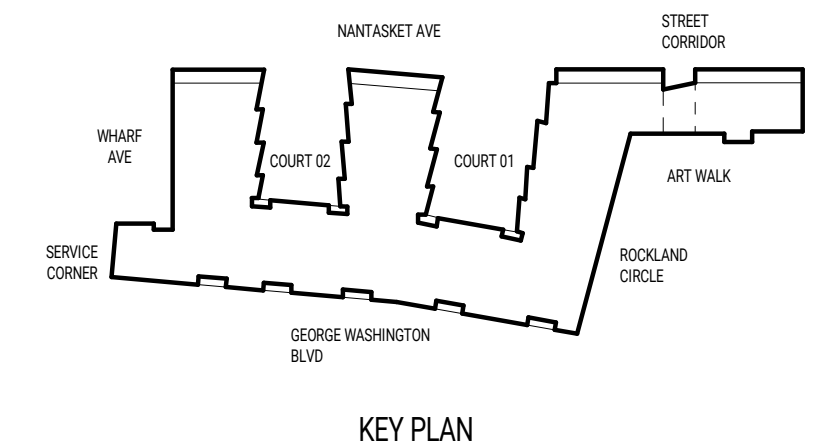
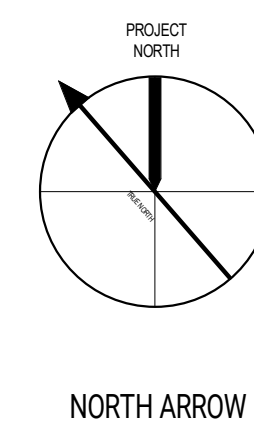
FLOOR PLAN - 1ST FLOOR

A-102a



UNIT & AMENITY TYPES

STUDIO	2 BED	COMMERCIAL COURTYARD	CORRIDOR	COMMERCIAL
1 BED JR	2 BED DEN	LOBBY / AMENITY	UTL.	STREET LEVEL PLAZA
1 BED	3 BED	PRIVATE COURTYARD	RESIDENT'S COURTYARD	POCKET PARK
1 BED DEN	AMENITY	PARKING	VERT. CIRCU.	



CONSULTANTS:

Response to Peer Review Comments
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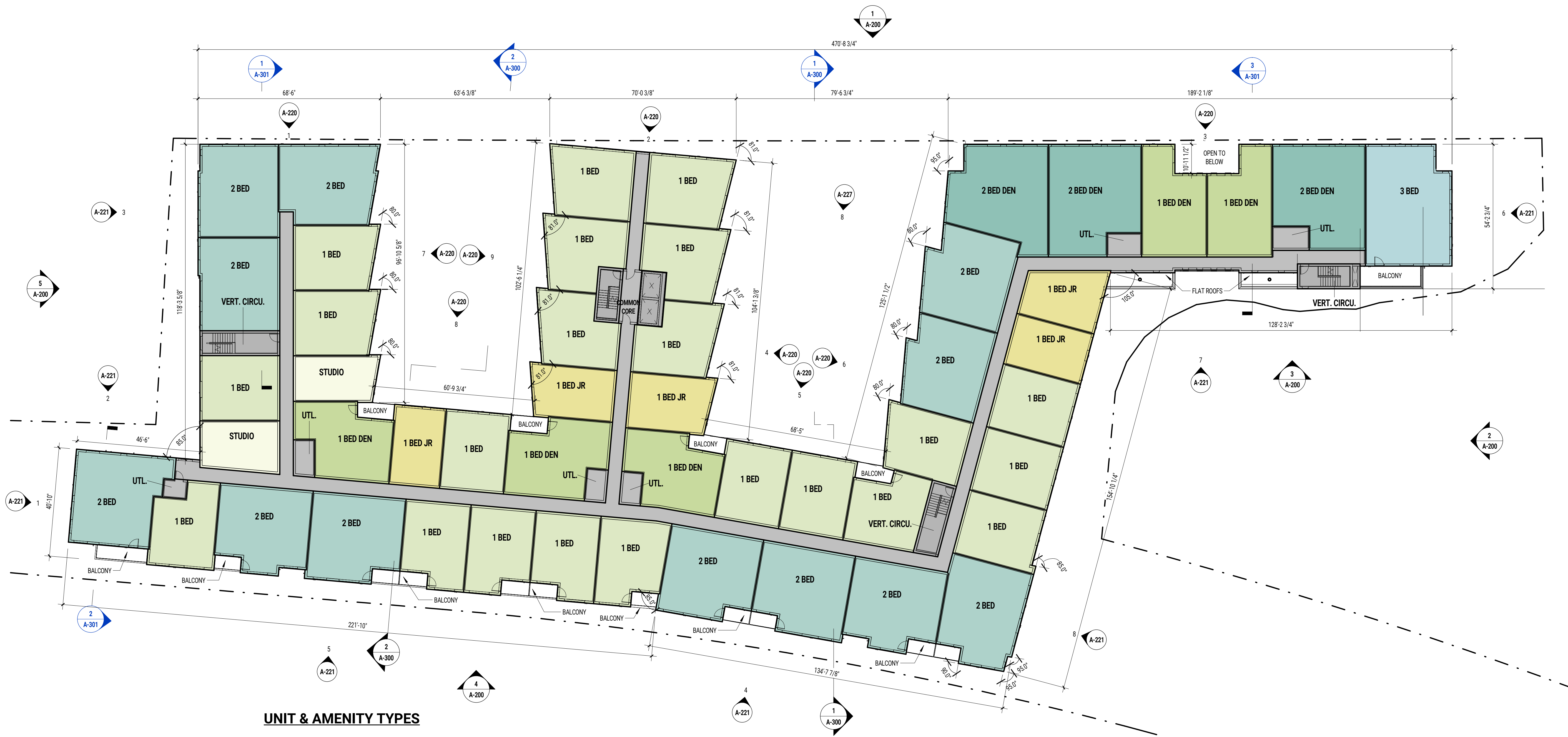


MARK: DATE: DESCRIPTION:
ISSUE LOG:

PROJECT NAME:
**PARAGON DUNES
MIXED-USE
REDEVELOPMENT**
ADDRESS:
197 NANTASKET AVE, HULL, MA 02045
DATE ISSUED: 1/31/2024
PROJECT #: 21013
SCALE: 1" = 20'-0"
DRAWN BY: AY, TM, MN

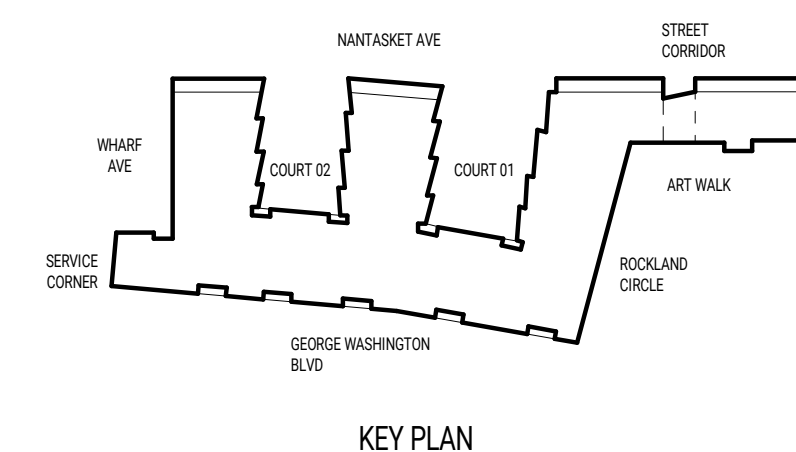
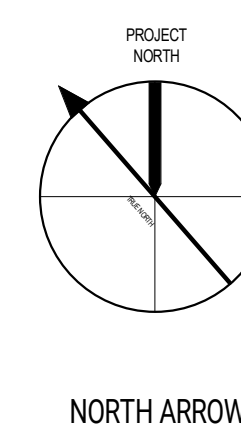
FLOOR PLAN - 2ND FLOOR

A-103a



UNIT & AMENITY TYPES

STUDIO	2 BED	COMMERCIAL COURTYARD	CORRIDOR	COMMERCIAL
1 BED JR	2 BED DEN	LOBBY / AMENITY	UTL	STREET LEVEL PLAZA
1 BED	3 BED	PRIVATE COURTYARD	RESIDENT'S COURTYARD	POCKET PARK
1 BED DEN	AMENITY	PARKING	VERT. CIRCU.	



CONSULTANTS:

Response to Peer Review Comments
(NOT FOR CONSTRUCTION)



MARK: DATE: DESCRIPTION:
ISSUE LOG:

PROJECT NAME:
**PARAGON DUNES
MIXED-USE
REDEVELOPMENT**
ADDRESS:
197 NANTASKET AVE, HULL, MA 02045
DATE ISSUED: 1/31/2024
PROJECT #: 21013
SCALE: 1" = 20'-0"
DRAWN BY: AY, TM, MN

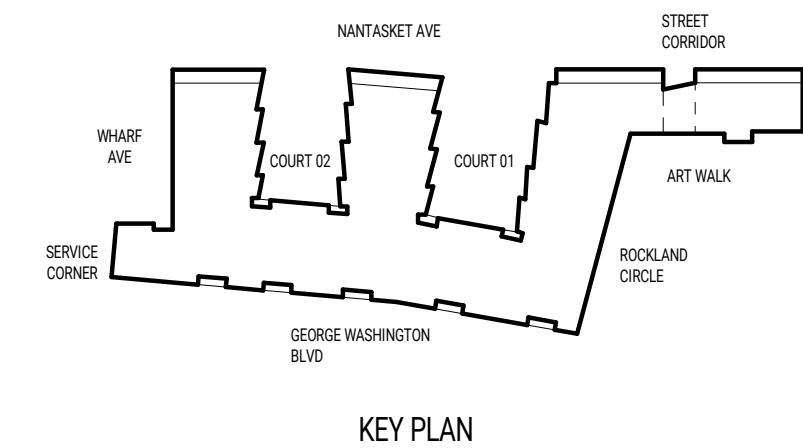
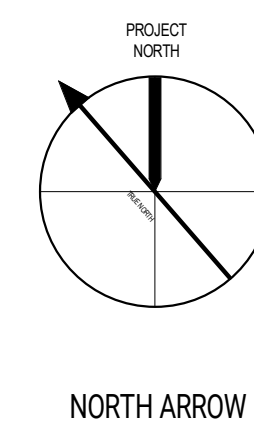
FLOOR PLAN - 3RD FLOOR

A-104a



UNIT & AMENITY TYPES

STUDIO	2 BED	COMMERCIAL COURTYARD	CORRIDOR	COMMERCIAL
1 BED JR	2 BED DEN	LOBBY / AMENITY	UTL.	STREET LEVEL PLAZA
1 BED	3 BED	PRIVATE COURTYARD	RESIDENT'S COURTYARD	POCKET PARK
1 BED DEN	AMENITY	PARKING	VERT. CIRCU.	



CONSULTANTS:

Response to Peer Review Comments
(NOT FOR CONSTRUCTION)

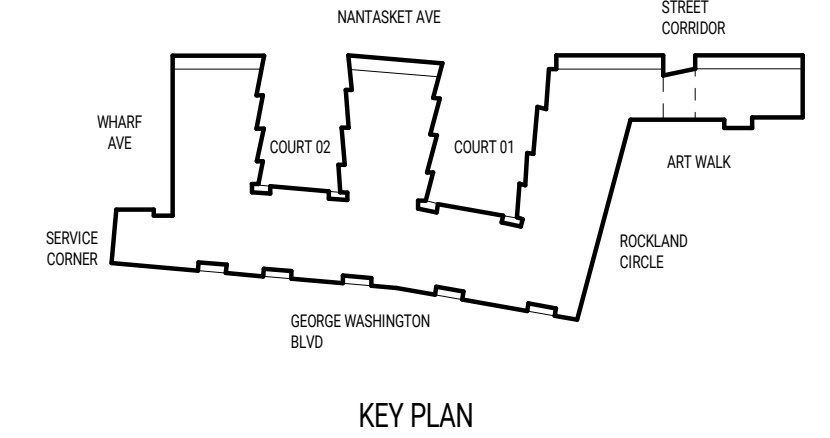
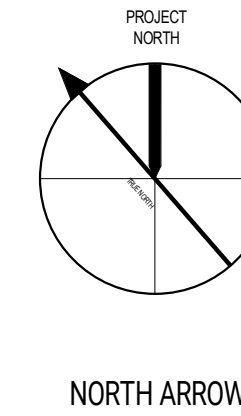
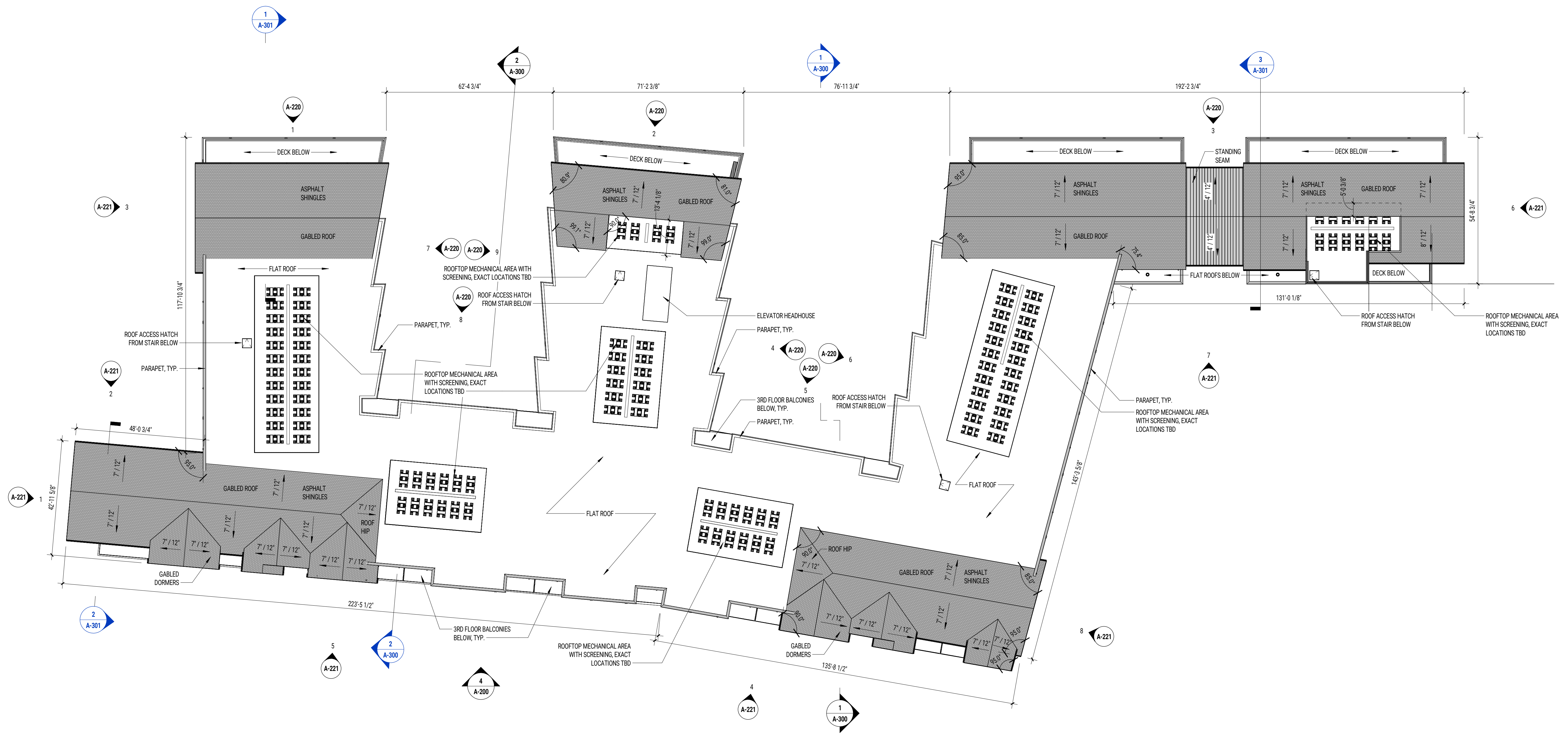


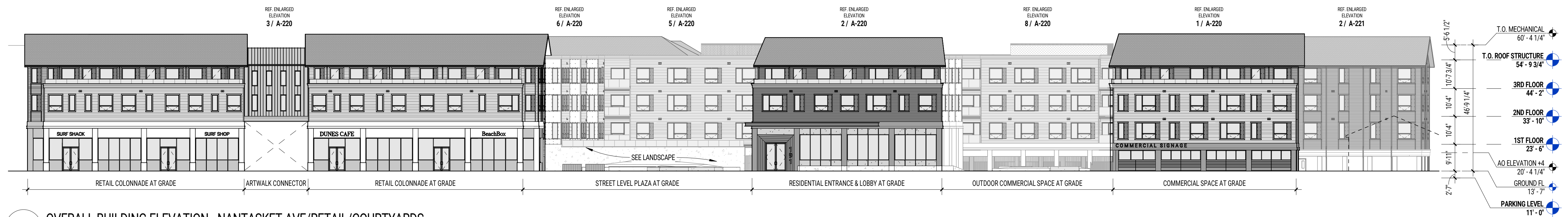
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ISSUE LOG:

PROJECT NAME:
**PARAGON DUNES
MIXED-USE
REDEVELOPMENT**
ADDRESS:
197 NANTASKET AVE, HULL, MA 02045
DATE ISSUED: 1/31/2024
PROJECT #: 21013
SCALE: 1" = 20'-0"
DRAWN BY: AY, TM, MN

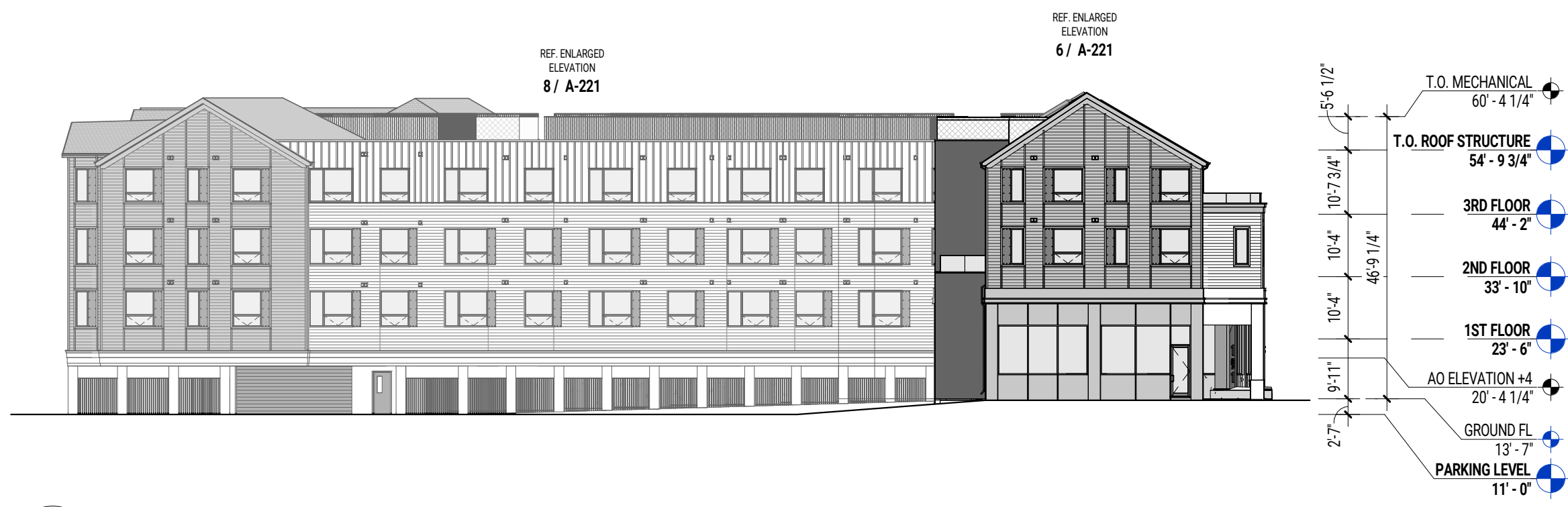
ROOF PLAN

A-105





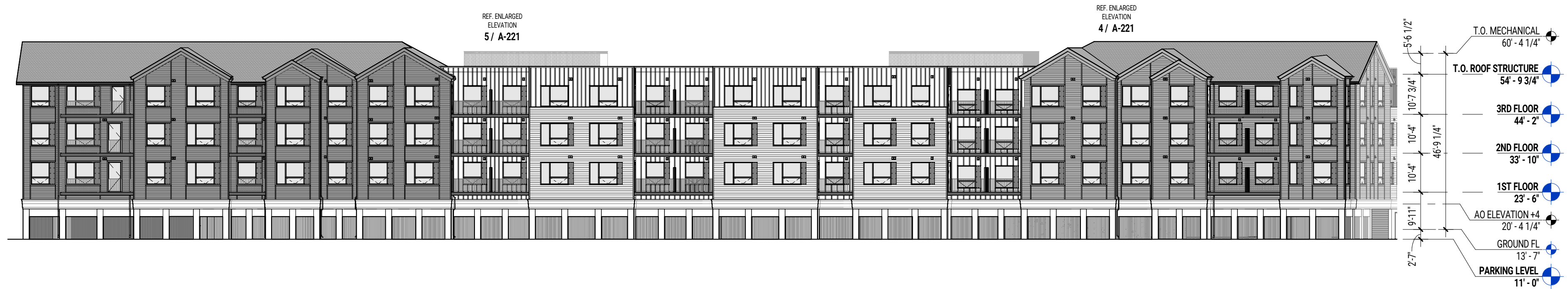
1 OVERALL BUILDING ELEVATION - NANTASKET AVE/RETAIL/COURTYARDS
SCALE: 3/64" = 1'-0"



2 OVERALL BUILDING ELEVATION - ROCKLAND CIRCLE/RETAIL CORNER
SCALE: 3/64" = 1'-0"



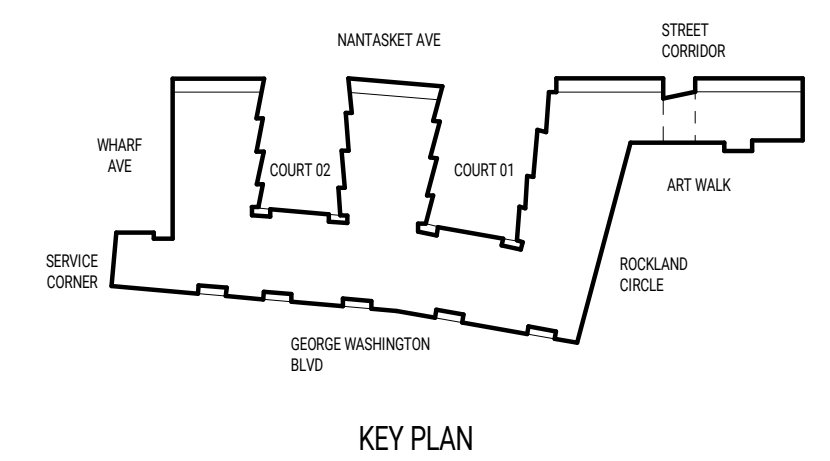
3 OVERALL BUILDING ELEVATION - ART WALK
SCALE: 3/64" = 1'-0"



4 OVERALL BUILDING ELEVATION - GEORGE WASHINGTON BLVD.
SCALE: 3/64" = 1'-0"



5 OVERALL BUILDING ELEVATION - WHARF AVE
SCALE: 3/64" = 1'-0"



KEY PLAN

CONSULTANTS:

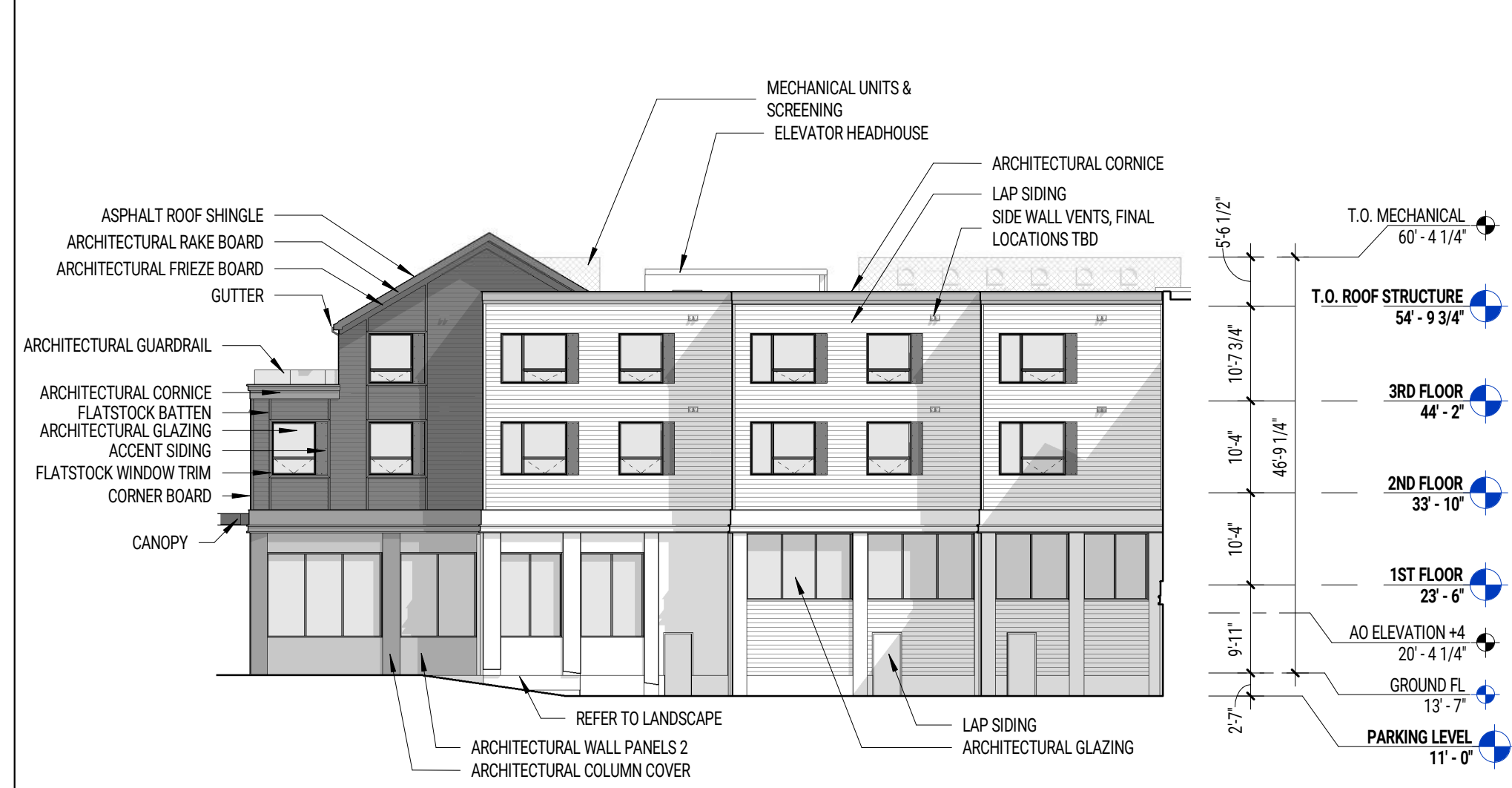
Response to Peer Review Comments
(NOT FOR CONSTRUCTION)



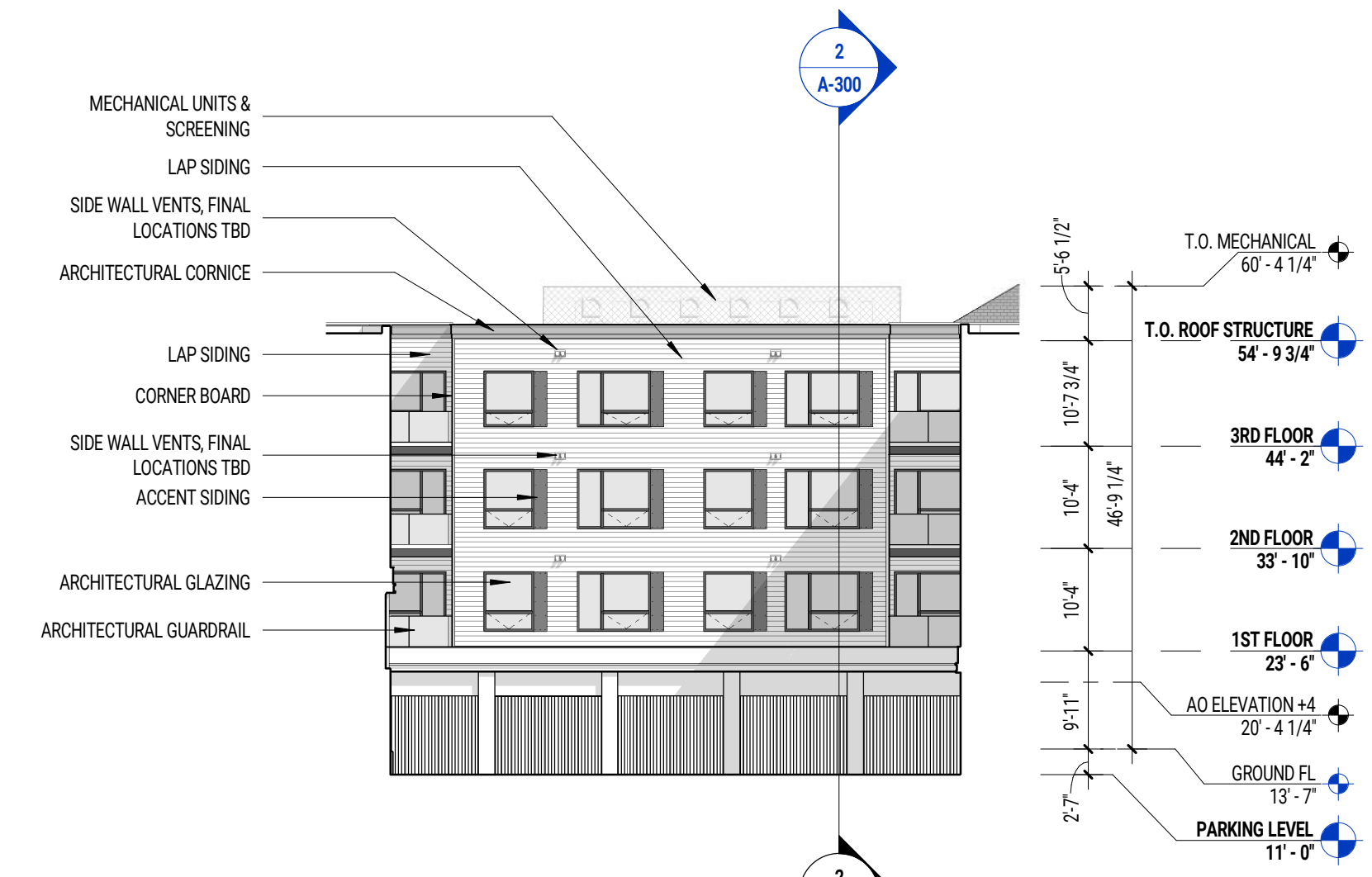
MARK: DATE: DESCRIPTION:
ISSUE LOG:

PROJECT NAME:
**PARAGON DUNES
MIXED-USE
REDEVELOPMENT**
ADDRESS:
197 NANTASKET AVE, HULL, MA 02045
DATE ISSUED: 1/31/2024
PROJECT #: 21013
SCALE: 3/64" = 1'-0"
DRAWN BY: AY, TM, MN

OVERALL BUILDING
ELEVATIONS



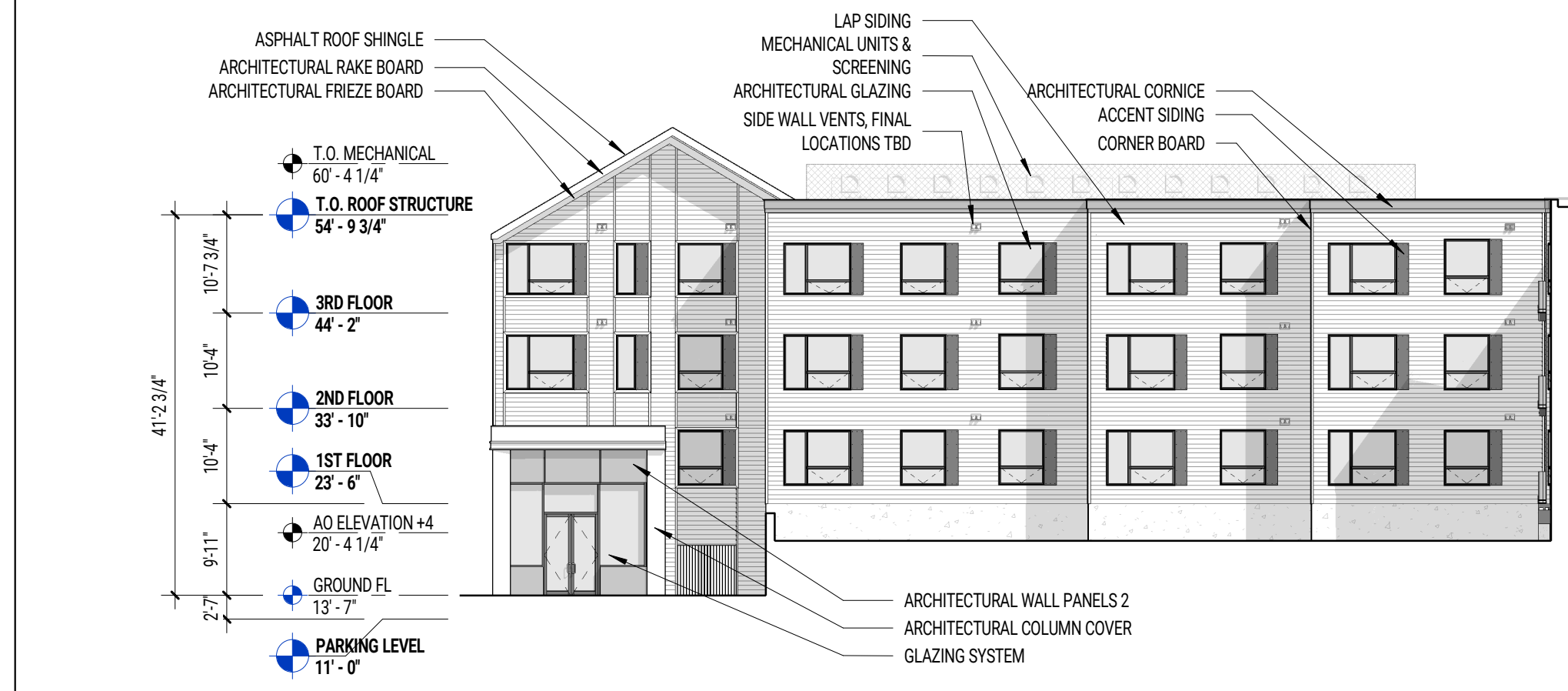
9 COURTYARD 02 - SAWTOOTH BAYS 01
SCALE: 1/16" = 1'-0"



8 COURTYARD 02 - NANTASKET AVE
SCALE: 1/16" = 1'-0"



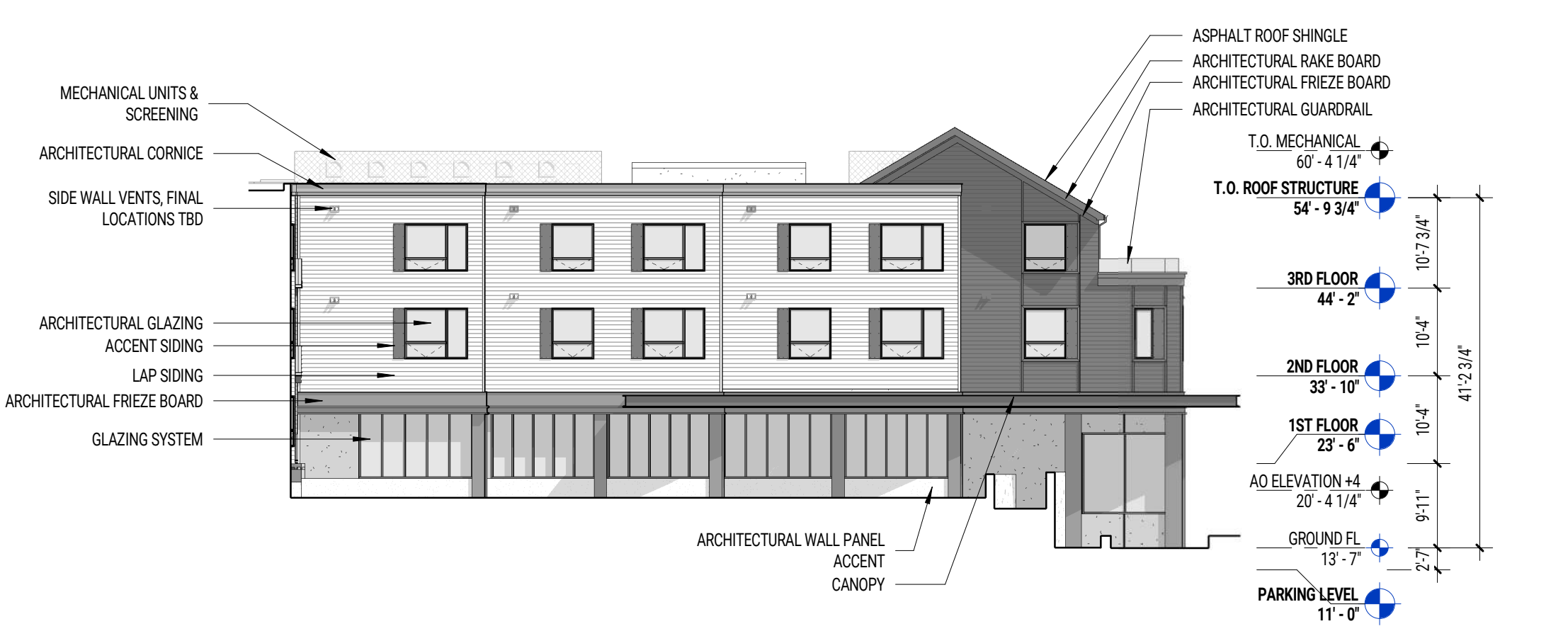
7 COURTYARD 02 - SAWTOOTH BAYS 02
SCALE: 1/16" = 1'-0"



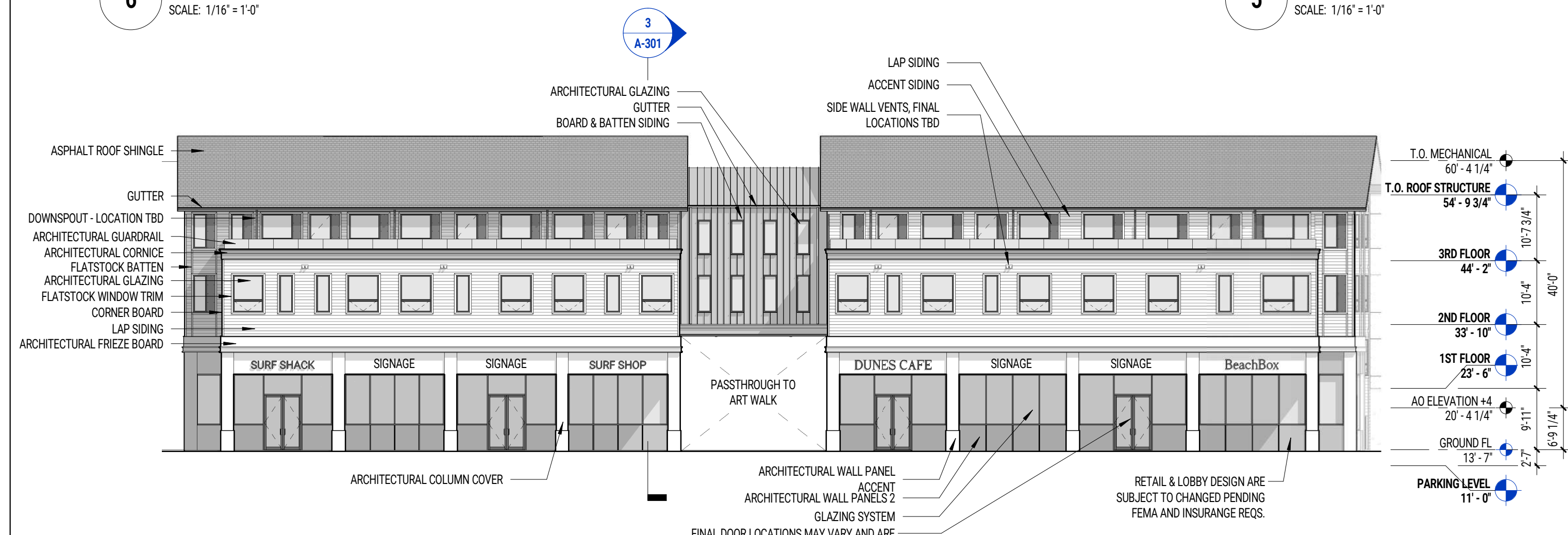
6 COURTYARD 01 - SAWTOOTH BAYS 01
SCALE: 1/16" = 1'-0"



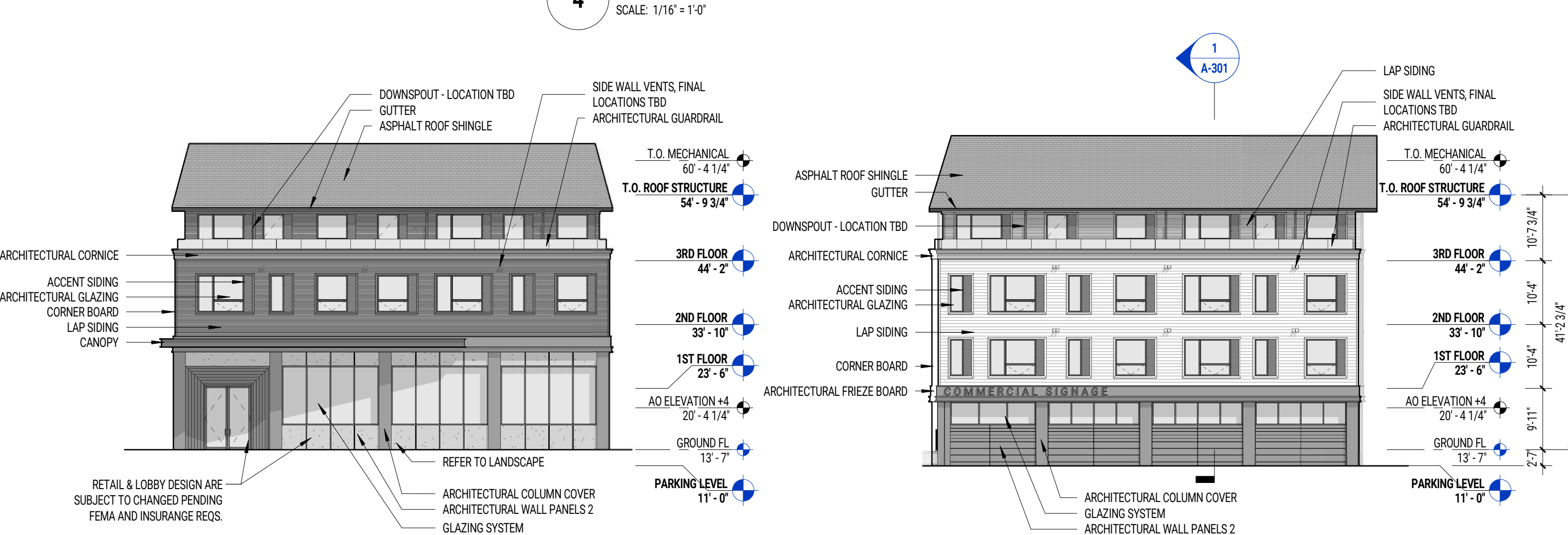
5 COURTYARD 01 - NANTASKET AVE
SCALE: 1/16" = 1'-0"



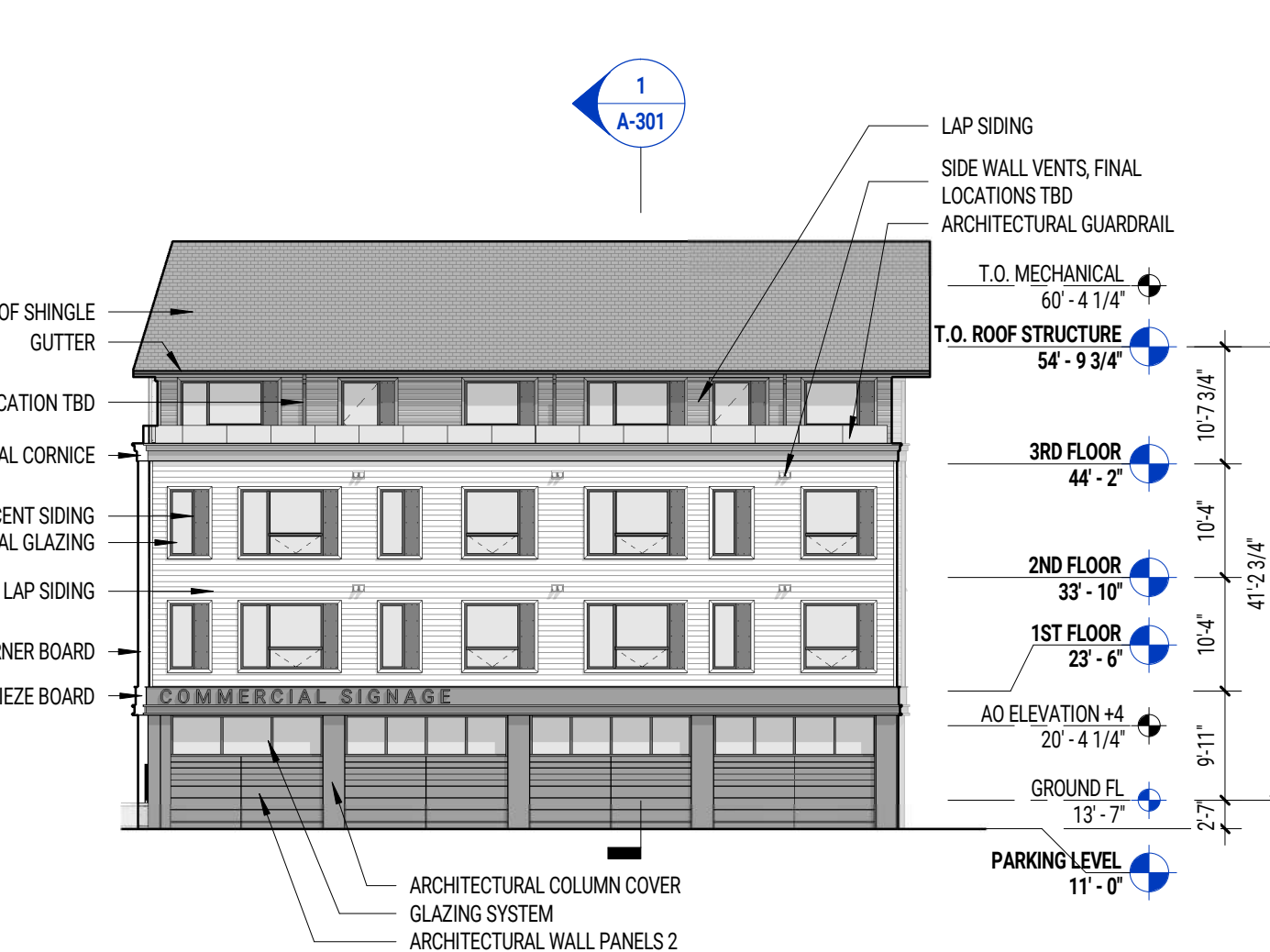
4 COURTYARD 01 - SAWTOOTH BAYS 02
SCALE: 1/16" = 1'-0"



3 NANTASKET AVE - COMMERCIAL WING
SCALE: 1/16" = 1'-0"



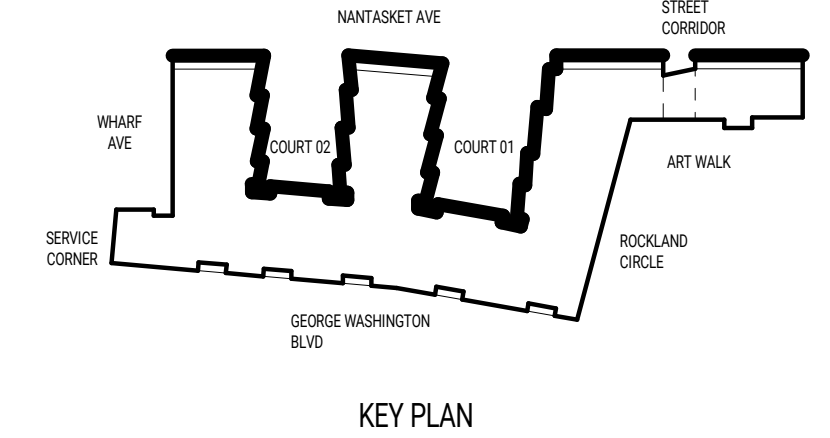
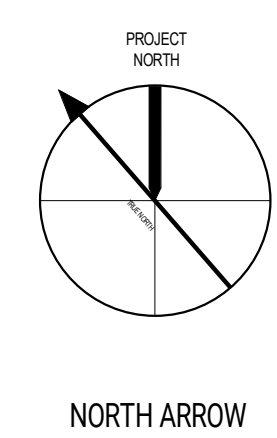
2 NANTASKET AVE - RESIDENTIAL ENTRY
SCALE: 1/16" = 1'-0"



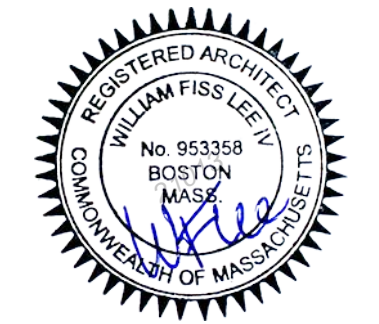
1 NANTASKET AVE - SOUTH WING
SCALE: 1/16" = 1'-0"

EXTERIOR LEGEND	
ACCENT SIDING	
ACCESS OR EGRESS DOOR	
ARCHITECTURAL COLUMN COVER	
ARCHITECTURAL CORNICE	
ARCHITECTURAL FRIEZE BOARD	
ARCHITECTURAL GLAZING	
ARCHITECTURAL GUARDRAIL	
ARCHITECTURAL RAKE BOARD	
ARCHITECTURAL SCREENING	
ARCHITECTURAL WALL PANEL ACCENT	
ARCHITECTURAL WALL PANELS 2	
ARCHITECTURAL WALL PANELS 3	
ASPHALT ROOF SHINGLE	
BALCONY DIVIDER SCREEN	
BOARD & BATTEN SIDING	
CANOPY	

EXTERIOR LEGEND	
COILING SERVICE DOOR	
COMMISSIONED MURAL LOCATION	
CORNER BOARD	
DOWNSPOUT - LOCATION TBD	
ELEVATOR HEADHOUSE	
FLATSTOCK BATTEN	
FLATSTOCK WINDOW TRIM	
GLAZING SYSTEM	
GUTTER	
LAP SIDING	
LAP SIDING - COLOR 01	
MECHANICAL UNITS & SCREENING	
PARAPET CAP	
REFER TO LANDSCAPE	
SIDE WALL VENTS, FINAL LOCATIONS TBD	



Response to Peer Review Comments
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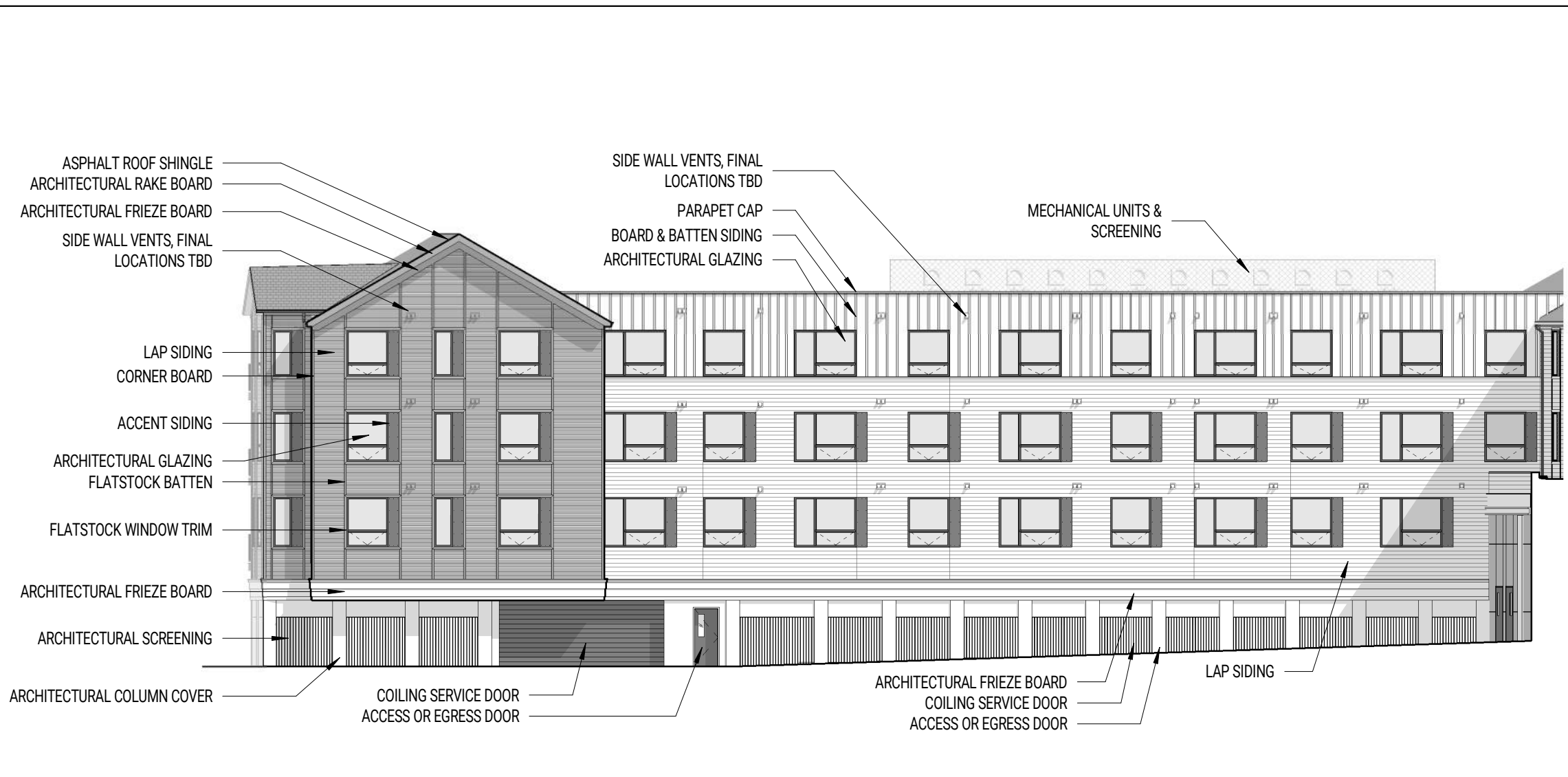


MARK: DATE: DESCRIPTION:
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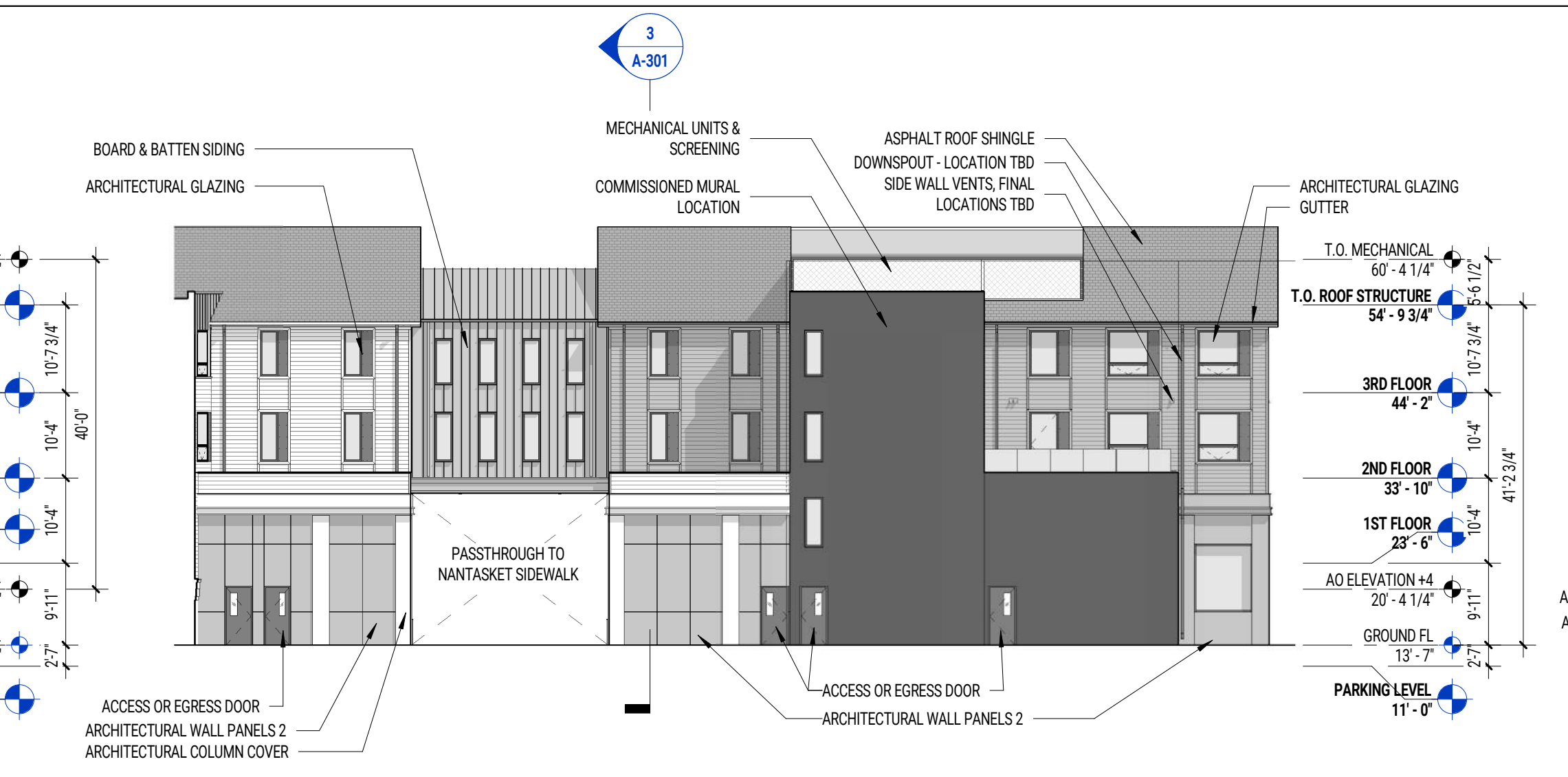
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SCALE: 1/16" = 1'-0"
DRAWN BY: AY, TM, MN

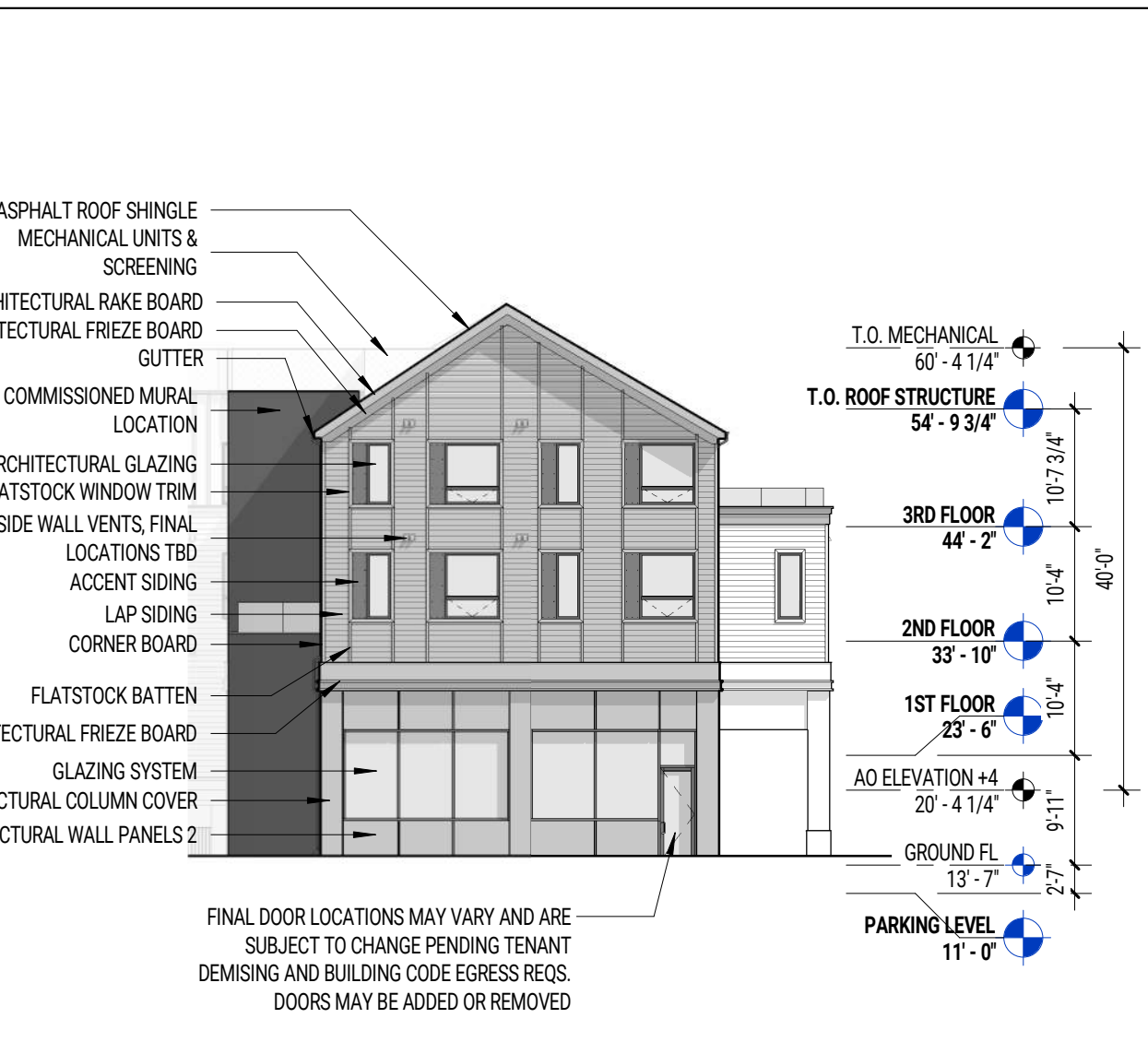
BUILDING ELEVATIONS



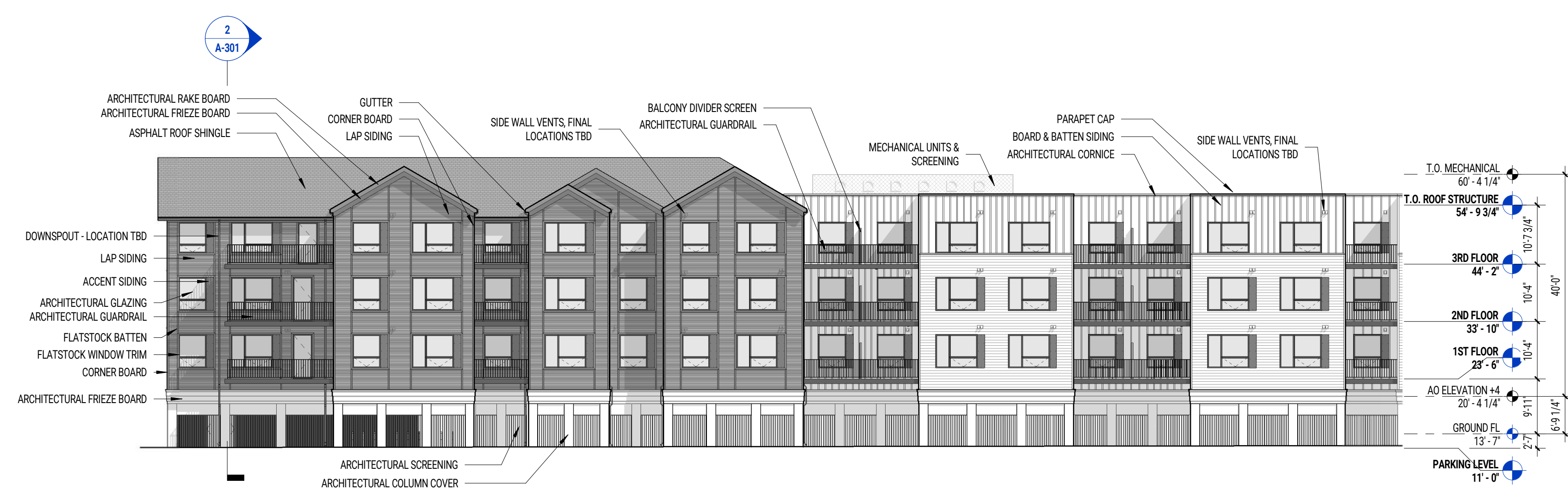
8 ROCKLAND CIRCLE
SCALE: 1/16" = 1'-0"



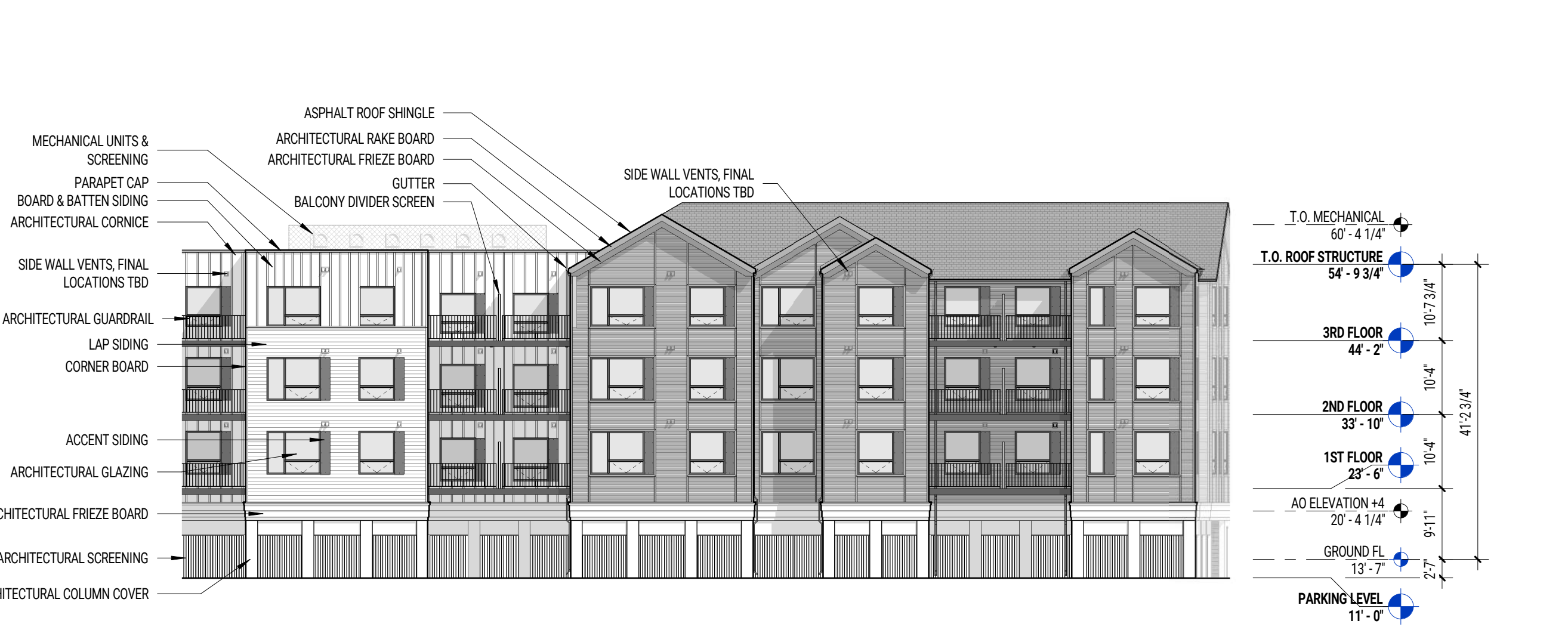
7 ART WALK
SCALE: 1/16" = 1'-0"



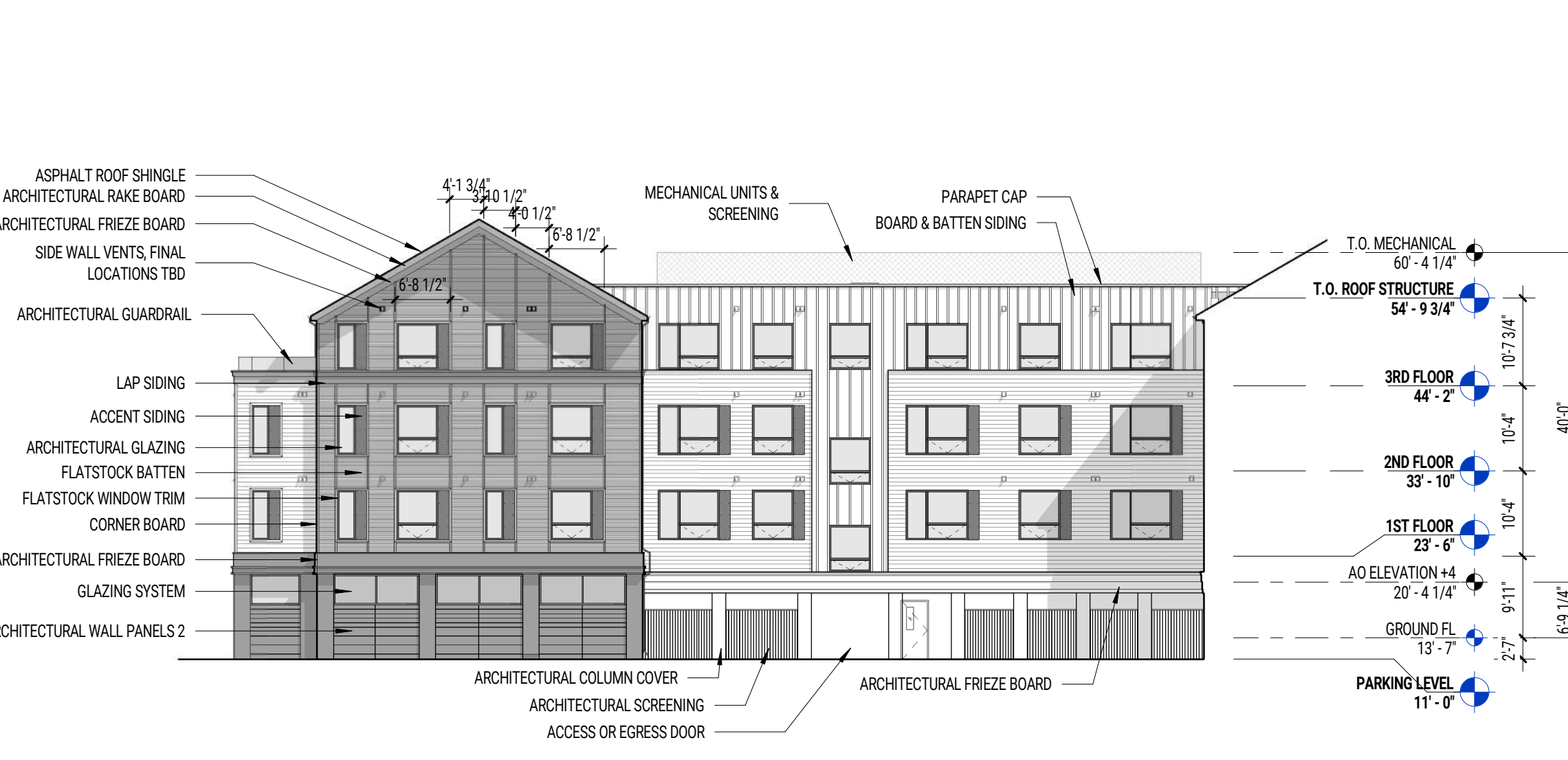
6 RETAIL CORNER
SCALE: 1/16" = 1'-0"



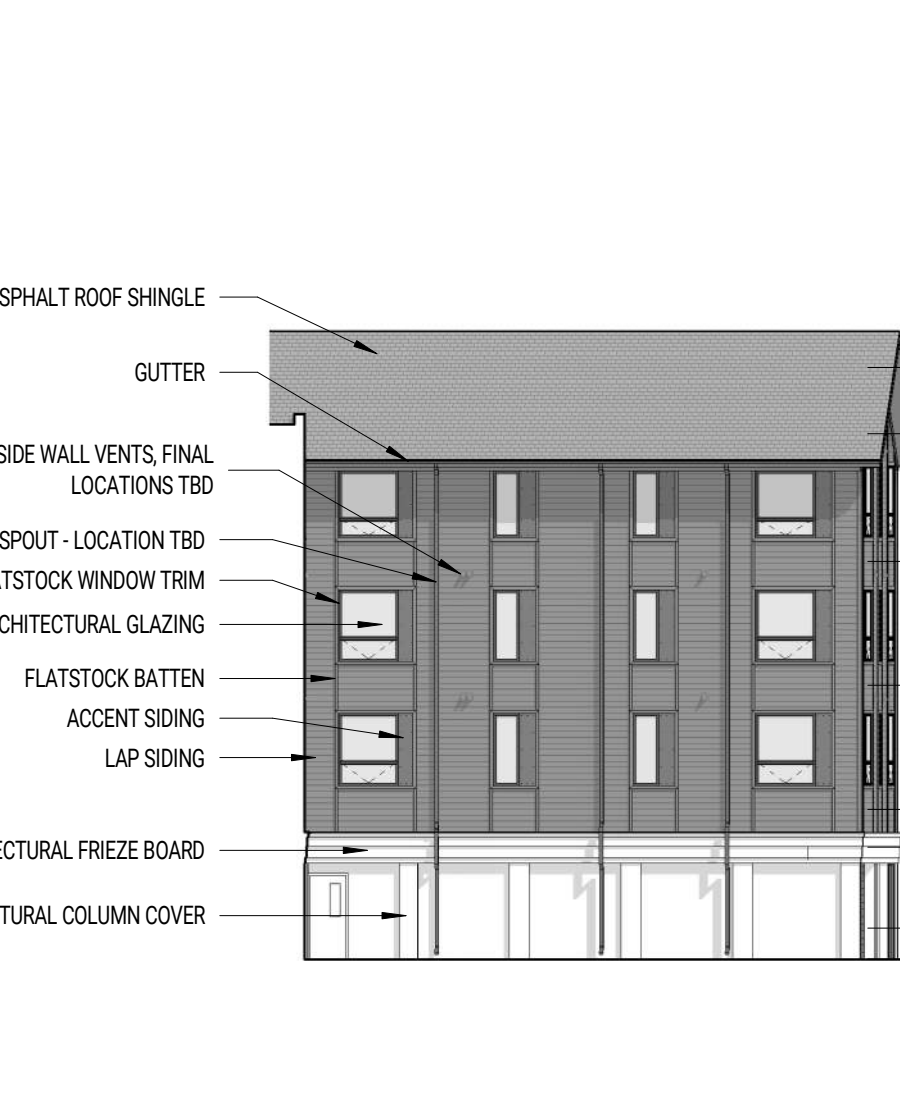
5 GEORGE WASHINGTON BLVD.
SCALE: 1/16" = 1'-0"



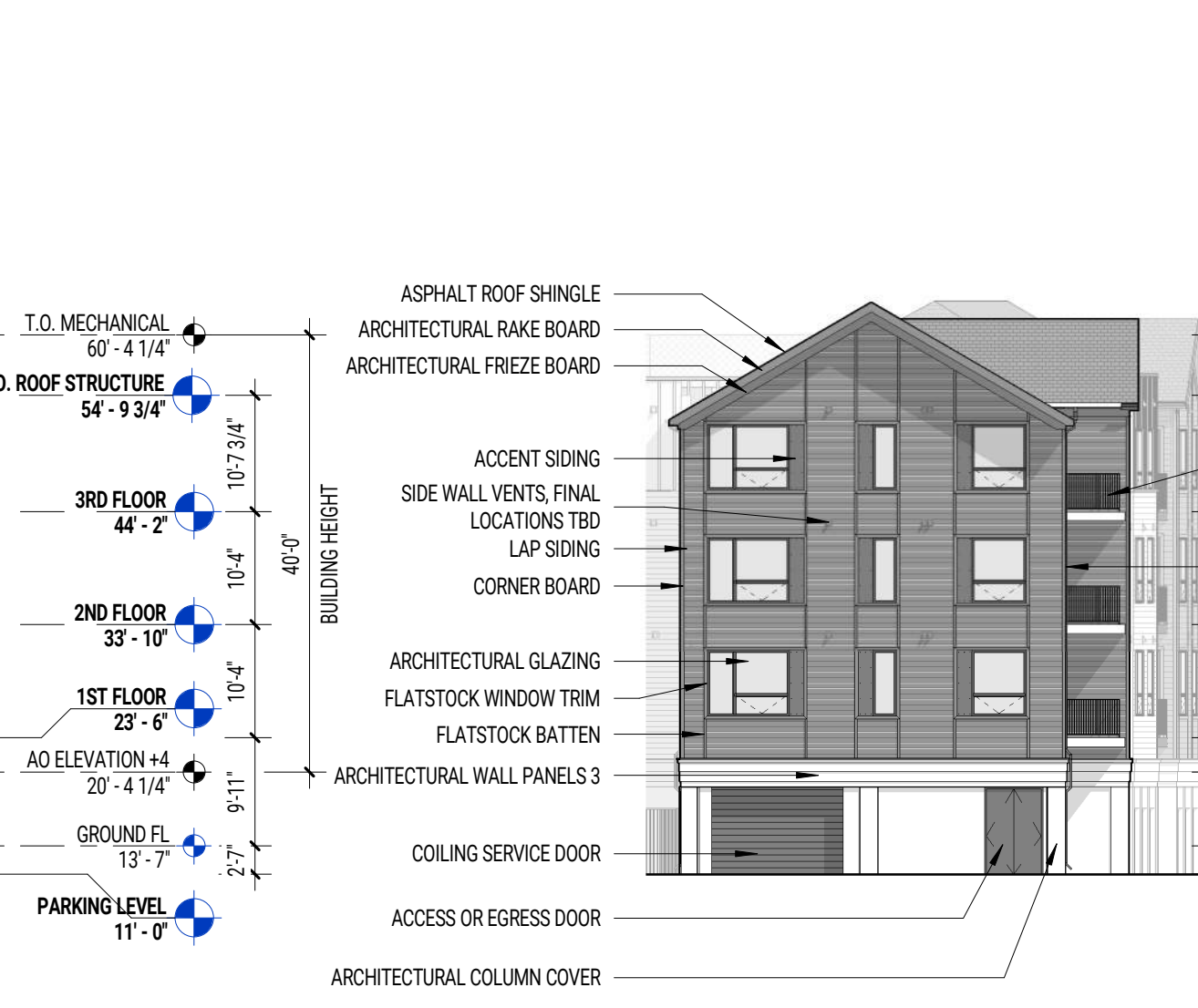
4 GEORGE WASHINGTON BLVD. CORNER
SCALE: 1/16" = 1'-0"



3 WHARF AVE
SCALE: 1/16" = 1'-0"

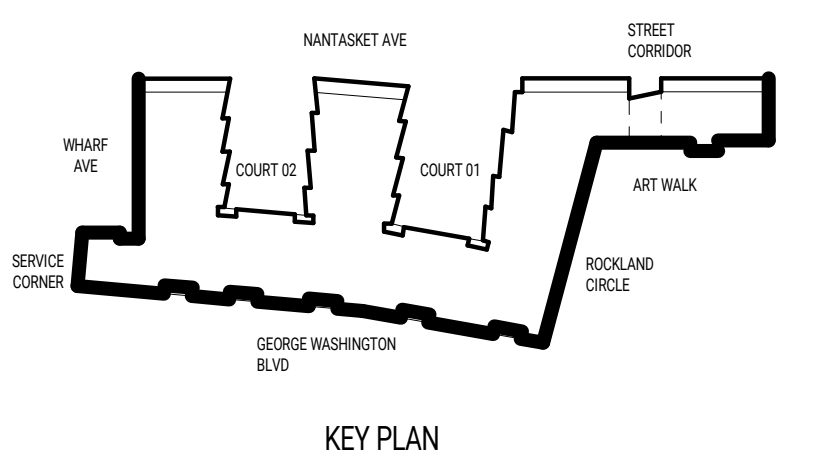


2 WHARF AVE NOOK
SCALE: 1/16" = 1'-0"



1 GEORGE WASHINGTON BLVD. SERVICE CORNER
SCALE: 1/16" = 1'-0"

EXTERIOR LEGEND	
ACCENT SIDING	
ACCESS OR EGRESS DOOR	
ARCHITECTURAL COLUMN COVER	
ARCHITECTURAL CORNICE	
ARCHITECTURAL FRIEZE BOARD	
ARCHITECTURAL GLAZING	
ARCHITECTURAL GUARDRAIL	
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FLATSTOCK BATTEN	
FLATSTOCK WINDOW TRIM	
GLAZING SYSTEM	
GUTTER	
LAP SIDING	
LAP SIDING - COLOR 01	
MECHANICAL UNITS & SCREENING	
PARAPET CAP	
REFER TO LANDSCAPE	
SIDE WALL VENTS, FINAL LOCATIONS TBD	



MFDS A+P
MONTE FRENCH DESIGN STUDIO (MFDS)
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T: 617-506-4496
WWW.MFDS-BOS.COM

CONSULTANTS:

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BUILDING ELEVATIONS

A-221

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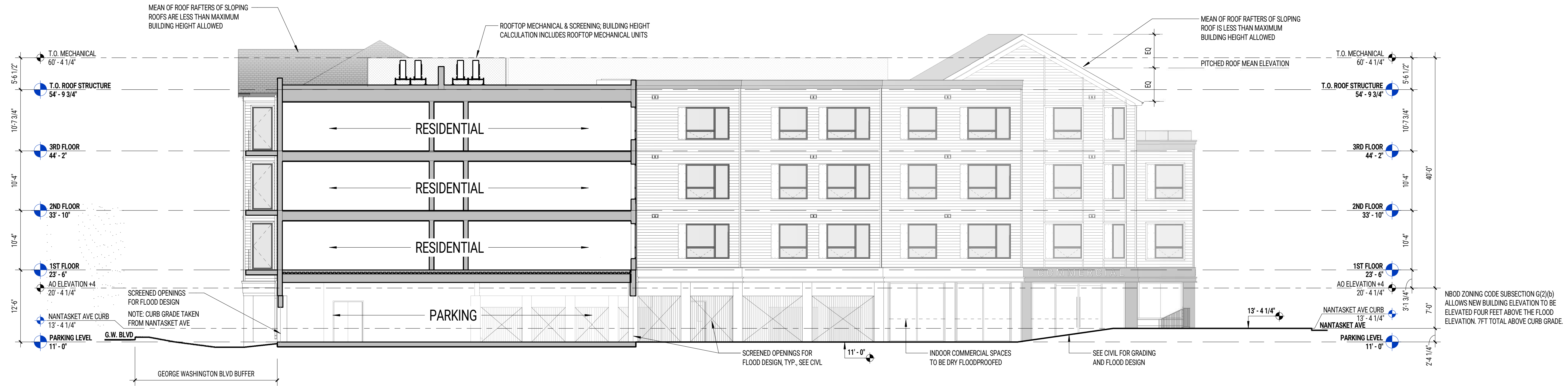
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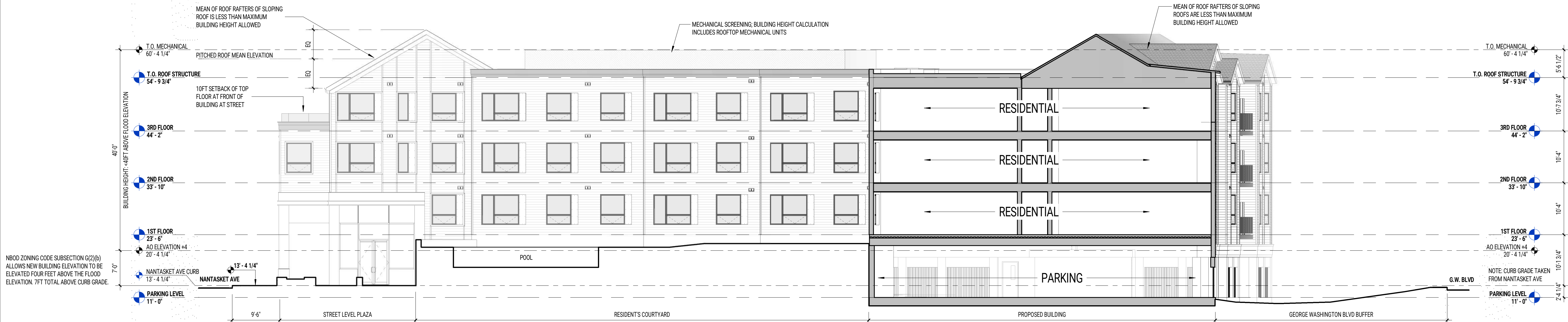
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BUILDING SECTIONS I



2 BUILDING & FLOOD DESIGN SECTION
SCALE: 1" = 10'-0"



1 BUILDING CROSS SECTION & BUILDING HEIGHT DIAGRAM
SCALE: 1" = 10'-0"

NBOD ZONING CODE SUBSECTION G(2)(b) ALLOWS NEW BUILDING ELEVATION TO BE ELEVATED FOUR FEET ABOVE THE FLOOD ELEVATION. 7FT TOTAL ABOVE CURB GRADE.

NBOD ZONING CODE SUBSECTION G(2)(b) ALLOWS NEW BUILDING ELEVATION TO BE ELEVATED FOUR FEET ABOVE THE FLOOD ELEVATION. 7FT TOTAL ABOVE CURB GRADE.